

ADDENDUM NUMBER ONE

for

**DARLA MOORE SCHOOL OF BUSINESS CONSTRUCTION – BP-2 STRUCTURE
UNIVERSITY OF SOUTH CAROLINA
STATE PROJECT NUMBER H27-6069-AC-2**

DATE OF ISSUE: January 12, 2012

TO: ALL BIDDERS OF RECORD

This Addendum is issued pursuant to the Conditions of the Contract and is hereby made part of the Contract Documents. The addendum serves to clarify, revise, and supersede information in the Project Manual, the Drawings, and previously issued Addenda. The Bidder shall acknowledge receipt of this Addendum in the appropriate space on the Bid Form. Failure to do so may subject the Bidder to disqualification. A list of attachments, if any, is part of this document.

**BIDDER SHALL ACKNOWLEDGE RECEIPT OF ADDENDUM IN THE SPACE PROVIDED ON THE BID FORM.
FAILURE TO DO SO MAY CONSTITUTE AN INFORMALITY IN THE BID.**

This addendum consists of 7 pages and the following attachments:

Meeting Minutes and List of Attendees – NON-MANDATORY PRE-BID CONFERENCE
Co-Permittee Agreement
A-SK-001: Slab Edge Revision at Performance Hall 101 & Stair 07/08 – Level 0
A-SK-001.2: Slab Edge Revision at Café and Catering Kitchen – Level 0
A-SK-002: Partial Slab Edge Plan – Level 0
A-SK-003: Slab Edge Location of Handrail Posts – Level 1
A-SK-004: Slab Edge Location of Handrail Posts – Level 1
A-SK-005: Slab Edge Revision at Performance Hall 101 & Stair 07/08 – Level 1
A-SK-006: Slab Edge Location of Handrail/Guardrail Posts & Deep 'U' Case Room 111 –
Level 1
A-SK-007: Slab Edge Plan – Level 2
A-SK-008: Slab Edge Plan at Café – Level 2
A-SK-009: Slab Edge Plan Revisions – Level 3
A-SK-010: Slab Edge Plan Revisions – Level 4
A-SK-011: Raise Elevator Roof & Core Wall by 12" at Core 3
A-SK-012: Raise Core Walls by 12" at Cores 1, 2, 4
A-SK-013: Level 6 Slab Edge Plan Revisions
A-SK-014: Level 6 Slab Edge Plan Revisions
A-SK-015: Retaining Wall Elevations (Reference Only)
A-SK-016: Retaining Wall Elevations (Reference Only)
A-SK-017: Typical Foundation Drain Detail
A-SK-018: EWS-0.1 - Architectural Concrete Wall Façade
A-SK-019: EWS-0.1 – Architectural Concrete Wall Plan and Elevation at West Façade
A-SK-020: Site Elevator Plan and Sections
S-SK-001: Foundation Plan – Level 0 – Zones A & F
Framing Plan – Level 1 – Zones A & F

S-SK-002:	Foundation Plan – Level 0.5 Tunnel and Auditorium
S-SK-003:	Framing Plan – Level 1 – Zone A
S-SK-004:	Framing Plan – Level 1 – Zone B
S-SK-005:	Framing Plan – Level 1 – Zones B & D
S-SK-006:	Framing Plan – Level 1 – Zone D
S-SK-007:	Framing Plan – Level 2 – Zone A
S-SK-008:	Framing Plan – Level 2 – Zones B & C
S-SK-009:	Framing Plan – Level 2 – Zones B & D
S-SK-010:	Framing Plan – Level 3 – Zones A & C
S4105 :	Framing Sections and Details (Full Size Drawing)
S4107 :	Framing Sections and Details (Full Size Drawing)

A. CHANGES TO BIDDING REQUIREMENTS:

Item No. Description

1. None.

B. GENERAL:

Item No. Description

1. See attached copy of Sign-In and Meeting Minutes from the Non-Mandatory Pre-bid Conference held January 5, 2012.
2. The Contractor will be required to sign and return the attached Co-Permittee Agreement prior to beginning work on site.
3. USC Supplemental General Conditions for Construction Projects - ADD the following sentences to Item 14:
"The Contractor shall supply a Site Specific Safety Program. The Certificate of Insurance shall list the University of South Carolina and Gilbane | SMG as additionally insured."
4. Specification Section 01 10 00 Summary: Delete the bracketed portion of the second sentence of paragraph 1.3.C.2.b.

C. CHANGES TO TECHNICAL SPECIFICATIONS AND DRAWINGS:

SPECIFICATIONS

Item No. Description

1. Specification Section 05 51 00 – Metal Stairs: 2.1A Manufacturers – Include Lapeyre Stair, Inc. as one of the approved manufacturers for Preassembled Stairs.

DRAWINGS

<u>Item No.</u>	<u>Description</u>
1.	Plan Sheet A1600, A1600C: Refer to attached sketch A-SK-001 – Level 0 slab edge plans. Revised slab edge at Performance Hall 101 & Stair 07/08.
2.	Plan Sheet A1600, A1600D, A1600E: Refer to attached sketch A-SK-001.2 – Level 0 slab edge plans. Provide floor slab opening for plumbing penetrations.
3.	Plan Sheet A1600, A1600D: Refer to attached sketch A-SK-002 – Level 0 slab edge plans. Revised top of slab elevation for site elevator to -29'-9". Revise slab edge along col. 8/12.1 as shown in sketch.
4.	Plan Sheet A1610, A1610A, A1610F: Refer to attached sketch A-SK-003 – Level 1 slab edge plans. Location of handrail post identified. Refer to sleeve detail 14/S2106 for slab on grade and detail 7/S4105 for elevated slabs.
5.	Plan Sheet A1610, A1610B, A1610C: Refer to attached sketch A-SK-004 – Level 1 slab edge plans. Location of handrail post identified. Refer to sleeve detail 14/S2106 for slab on grade and detail 7/S4105 for elevated slabs.
6.	Plan Sheet A1610, A1610C: Refer to attached sketch A-SK-005 – Level 1 slab edge plans. Revisions to slab edge at Performance Hall 101 & Stair 07/08.
7.	Plan Sheet A1610, A1610D, A1610E: Refer to attached sketch A-SK-006 – Level 1 slab edge plans. Location of handrail post identified. Refer to sleeve detail 14/S2106 for slab on grade and detail 7/S4105 for elevated slabs. Revisions to Deep 'U' Case room 111 slab edge.
8.	Plan sheet A1620, A1620A, A1620B, A1620C, A1620D: Refer to attached sketch A-SK-007 – Level 2 slab edge plan. Revision on curb around floor opening increased from 6" to 8". Revision on the slab edge of Café area.
9.	Plan sheet A1620, A1620C, A1620D: Refer to attached sketch A-SK-008 – Level 2 slab edge plan. Enlarged plan detail of revision on slab edge at Café area.
10.	Plan sheet A1630, A1630A, A1630C: Refer to attached sketch A-SK-009 – Level 3 slab edge plan. Revised slab edge plan along ST06 landing, Vestibule V302 area and ST05 landing, Vestibule V301 area.
11.	Plan sheet A1640, A1640B, A1640C, A1640D: Refer to attached sketch A-SK-010 – Level 4 slab edge plan. Revised slab edge plans at locations shown in sketch.
12.	Section sheet A4232: Refer to attached sketch A-SK-011 – section at core 3 Level 5 roof to core roof. Raise the elevator shaft roof and core perimeter wall by 1'-0".
13.	Section sheet A4212, A4222, A4242: Refer to attached sketch A-SK-012 – section at cores 1, 2, 4 Level 5 roof to core roof. Raise core perimeter walls by 1'-0".

14. Plan sheet A1660, A1660A, A1660D: Refer to attached sketch A-SK-013 – slab edge plan at core roof. Provide slab opening as shown in sketch for roof hatch.
15. Plan sheet A1660, A1660B, A1660C: Refer to attached sketch A-SK-014 – slab edge plan at core roof. Provide slab opening as shown in sketch for roof hatch.
16. Elevation sheet A4111 (Reference only): Refer to attached sketch A-SK-015 – retaining wall elevations. Clarification on location of architectural concrete wall, retaining wall and crack control joint.
17. Elevation sheet A4111 (Reference only): Refer to attached sketch A-SK-016 – retaining wall elevations. Clarification on location of architectural concrete wall, retaining wall and crack control joint.
18. Detail sheet A4191: Refer to attached sketch A-SK-017 – typical foundation detail. Revised note to read “perforated plastic pipe foundation drain wrapped in filter fabric”. Add continuous waterstop on foundation as location shown in sketch.
19. Elevation sheet A4610.0: Refer to attached sketch A-SK-018 – architectural concrete wall elevation at West Façade. Removed crack control joint indicated between column grid lines. Provide crack control joint with waterbar where expansion joint was previously noted (along column grid lines at 21'-0" o.c.). Revision is applicable to drawings A4610.1 through A4610.4.
20. Elevation sheet A4610.1: Refer to attached sketch A-SK-019 – architectural concrete wall elevation at West façade: Removed crack control joint indicated between column grid lines. Provide crack control joint with waterbar where expansion joint was previously noted (along column grid lines at 21'-0" o.c.). Revision is applicable to drawings A4610.1 through A4610.4.
21. Section/plan sheet A4385: Refer to attached sketch A-SK-020 – site elevator plan and section. Revised elevation of elevator pit and landing.
22. Notes sheet S0101: Revised General Notes 6.1 to read: “APPROXIMATELY 900 ELECTRICAL AND AUDIO/VISUAL FLOOR BOXES DISTRIBUTED OVER LEVELS 1, 3, AND 4 (EXACT DISTRIBUTION AND PRECISE LOCATION WILL BE PROVIDED IN BP3 DOCUMENTS). FLOOR BOXES AND SLAB BLOCK-OUTS FOR FLOOR BOXES SHALL BE REINFORCED AS FLOOR OPENINGS PER TYPICAL DETAIL SHOWN IN BP2 STRUCTURAL DRAWINGS”.

Revised General Note 6.2 to read: “FLOOR DRAINS IN BATHROOMS AND ROOF DRAINS AS SHOWN IN THE ARCHITECTURAL DRAWINGS. FLOOR DRAINS AND SLAB BLOCK-OUTS FOR FLOOR DRAINS SHALL BE REINFORCED AS FLOOR OPENINGS PER TYPICAL DETAILS SHOWN IN BP2 STRUCTURAL DRAWINGS”.
23. Plan sheet S1100A: Refer to attached sketch S-SK-001 – foundation plan Level 0. Added footings with grade beams along Greene Street for stair and ramp support.
24. Plan sheet S1100D: Revised footing elevation at column A-12 and at site elevator

footing to 29'-9".

25. Plan sheet S1100F: Refer to attached sketch S-SK-001 – added footings with grade beams along Greene Street for stair and ramp support.
26. Plan sheet S1100.1A: Refer to attached sketch S-SK-002 – revised retaining wall and footing at West tunnel.
27. Plan sheet S1110A: Refer to attached sketch S-SK-001 & S-SK-003 – added footings with grade beams along Greene Street for stair and ramp support. Revised thickened slab-on-grade area at East stair landing.
28. Plan sheet S1110B: Refer to attached sketch S-SK-004 & S-SK-005 – added section cuts at slab-on-grade opening. Added footing and section cut at base of exterior stair.
29. Plan sheet S1110D: Refer to attached sketch S-SK-006 – revised framing and added section cut at tunnel at West stair landing.
30. Plan sheet S1110F: Refer to attached sketch S-SK-001 - added footings with grade beams along Greene Street for stair and ramp support.
31. Plan sheet S1120A: Refer to attached sketch S-SK-007 – revised framing and added section cut for exterior stair and added column from footing to stair landing at K-01.
32. Plan sheet S1120B: Refer to attached sketch S-SK-008 and S-SK-009 – revised framing and added section cuts at exterior stair and at grand stair landing.
33. Plan sheet S1120C: Refer to attached sketch S-SK-008 – revised framing and added section cuts at exterior stair.
34. Plan sheet S1120D: Refer to attached sketch S-SK-009 – revised framing and added section cuts at grand stair landings.
35. Plan sheet S1130A: Refer to attached sketch S-SK-010 – revised framing and added section cuts at grand stair landing.
36. Plan sheet S1130C: Refer to attached sketch S-SK-010 – revised framing and added section cuts at grand stair landing.
37. Plan sheet S1140B: Refer to attached sketch S-SK-011 – revised framing and added section cuts at grand stair landing.
38. Plan sheet S1140C: Refer to attached sketch S-SK-012 – revised framing and added section cuts at Pavilion Bridge. Removed note regarding concrete curb.
39. Plan sheet S1140D: Refer to attached sketch S-SK-013 – revised framing and added section cuts at Pavilion Bridge and grand stair landing. Removed note regarding concrete curb.

- 40. Detail sheet S2106: Refer to attached sketch S-SK-014 and S-SK-015 and S-SK-016. Revised detail 14 and added new details 15 and 16.
- 41. Column schedule sheet S3101: Refer to attached sketch S-SK-017 – revised column schedule for added column at K-01.
- 42. Detail sheet S4103: Refer to attached sketch S-SK-018 – revised detail 10. Added note 4 to detail 1 that reads “SEE 04&05/S4105 FOR ADDITIONAL SLAB REINFORCING REQUIRED AT ELEVATED SLABS ON METAL DECK WITH TOPPING SLAB”.
- 43. Detail sheet S4105 (Entire sheet re-issued): Revised kicker note in detail 3. New details 4, 5 and 7 through 15 added.
- 44. Detail sheet S4106: Added 2’-0” footing thickness dimension to detail 1.
- 45. Detail sheet S4107: New drawing sheet – framing sections and details.
- 46. All drawings noted as “FOR REFERENCE ONLY”: Sheets are provided for bidders information only. Section cuts and detail references may not apply to this bid package.

D. BIDDERS RFI’S:

- 1. Please provide details of the shoring being installed by the Civil contractor. Is it stepped? How deep is it being installed? What type of shoring is it?

Response: Please refer to drawing A4121 through A4125 for information regarding shoring wall.
- 2. Note 1 on page S2105 discusses demolition of temporary shoring. Please provide detail on this shoring. What type is it? If we are to remove it, do we then dispose of it or will the installer take possession of it?

Response: It is not the intent to completely demolish the shoring wall. Where indicated as “temporary” the wall will be backfilled after building retaining walls are installed to achieve final grades as indicated. Should it be necessary to demolish a portion of this wall to permit installation of other elements, the contractor shall remove and dispose of any debris off of the Owner’s property per other specification section requirements.
- 3. A note on page A1120 references page A4713. We do not have page A4713.

Response: Refer to item no. 46 section C of this addendum.
- 4. Cut 3 on page A4611 references A1110. We do not have a page A1110.

Response: A1110 is part of the package (Level 0 Floor Plan – issued for Reference Only). There is no A4611 drawing. Refer to item no. 46 section C of this

addendum.

5. In the structural drawings, there are a handful of references made to work which is in a subsequent bid package. Please confirm that the subsequent bid package is bid package 3 or later.

Response: Yes, they refer to Bid Package 3.

6. Sheet A0120.2 – Statement of Special Inspections – has Ch1 in the table for footing, concrete, frame, fill, mechanical, plumbing and electrical, are all these required?

Response: Yes.

7. 38' x 38' x 5' footings – I am assuming these are “core footings” mentioned in the geotechnical report, there was a statement about settlement monitoring these footings, so I guess that is how they will be inspected, and typical hand auger/DCP testing isn't required on these?

Response: Typical testing will be required for the excavation and foundations as you would for any other. What is “additional” is the settlement monitoring which will also be provided by the Owner.

8. Plan page S1100D, lower left corner, the base slab for the site elevator is not dimensioned.

Response: See 1/S4106 for dimension from elevator wall to edge of footing. Footing thickness is the same as the typical retaining wall footing in this area (see 02/S2103). Thickness dimension will be added to detail to clarify (addendum).

9. Plan page S1100E upper left corner, footing 07 on S2105 isn't dimensioned or detailed.

Response: This footing is a continuation of the footing shown in 05/S2105. Per note 3 in detail 07/S2105, information not shown is to be obtained from detail 05 and 06/S2105.

10. Plan page S4106, what are the dimensions of the site elevator shaft?

Response: Refer to Architectural drawings for elevator shaft dimensions - A4385 and A4386.

END OF ADDENDUM

MINUTES OF MEETING

Project: **DARLA MOORE SCHOOL OF BUSINESS – BP- 2 STRUCTURE**
State Project Number H27-6069-AC-2

Subject: **PRE-BID MEETING**

Date: January 5, 2012 at 10:00 AM EST

Location: University of South Carolina – Campus Planning and Construction

Attendees: See attached Sign-in Sheet

A Non-Mandatory Pre-bid Meeting was conducted at the University of South Carolina office of Campus Planning and Construction at 743 Greene Street, Columbia, SC on January 5, 2012 at 10:00 AM. The attached Agenda was followed and additional discussions were noted as follows:

1. The scope and nature of the project was described. It was noted that the work of this bid package would be the third bid package associated with the multi-phase construction of a new School of Business for the University of South Carolina. The first and second phases (bid packages) have been bid and awarded. These packages include high-voltage electrical relocation work at the ROW area of Greene and Park Streets and the Civil bid package for the project. A final bid package which will include the enclosure, finishes and MEPF systems for the facility is anticipated to be advertised for bidding shortly after bidding and award of the current BP-2 Structure package.
2. The scope and phasing of the project work and timing of the other bid packages were reviewed in general terms. Bidders were referred to section 01 10 00 Summary for specific phasing information and work completion requirements.
3. The date and location for the bid opening were reviewed. Bidders were cautioned to arrive early and take care of visitor sign in and parking passes prior to the time of the bid opening. The official time was noted as the time indicated on the wall clock in the conference room. Any late bids will be rejected as non-responsive. Bidders were cautioned to ensure that persons delivering bids were familiar with the location and time requirements. Bidders should confirm receipt of any bids delivered by FedEx or delivery services.

4. The Supplementary Instructions to Bidders (AIA A701) and O201-OSE Supplementary Instructions to Bidders were reviewed in general terms. Bidder's attention was brought to paragraph 9.7 for requirements of the contractor to provide Builder's Risk insurance. Attention was brought to paragraph 9.9 of the O201-OSE as to the involvement in the project of the Construction Manager.
5. Bidding requirements and the Bid Form were reviewed.
6. Licensing requirements were reviewed. Bidders must be properly licensed as General Contractor - Building to bid as a prime bidder per State Law.
7. The time of completion and liquidated damages were reviewed. The inclusion of an Incentive Clause for tiered early completion awards was reviewed. Details are as included in section 01 10 00 Summary.
8. Any requests for substitutions must be received by end of the day Friday January 13th at the latest. At least one addendum will be issued. The last addenda will be issued no later than January 20th at 2:00 PM. All questions must be submitted in writing prior to this time.
9. Supplementary Conditions, including the University of South Carolina Supplementary Conditions, were reviewed. Attention was called to information concerning the contractor's lay-down area and related parking requirements. It was noted that contractors for other bid packages will also be on site during portions of the work of this bid package and these contractors will share in the use of the lay-down area.
10. Temporary fencing has been provided by the University at portions of the site and requirements for additional contractor fencing and barricades were reviewed. The contractor is responsible for any requirements beyond what is shown as Owner-furnished fencing on the drawings. The contractor is also responsible for any temporary relocation of owner provided fencing if required and for any damages requiring repairs due directly to the work of this package.
11. Permits and approvals were reviewed. All required permits and approvals have been procured for the project. The contractor will be required to verify City of Columbia Business License requirements.
12. Testing and Inspection Services were discussed and are as noted in the project specifications. The contractor will be responsible for scheduling required tests and inspections and will be responsible for any costs associated with re-tests or re-inspection due to the failure to meet project specification requirements, or for failure to properly schedule tests and inspections.

13. The University's desire to encourage participation of small, local and minority business enterprises was discussed at length. Bidders were strongly encouraged to seek participation through subcontracting and partnering. Ms. Helen Zeigler of the University spoke on this matter. Ms. Zeigler stressed that participation in this critical Outreach Initiative was a vital business driver for the City, the State and the University. Ms. Zeigler asked that all parties do their best to seek participation and to document their efforts towards this end. Mr. Anthony Lawrence also spoke on this matter and indicated that Brownstone Construction Group was a resource available to all parties to assist in these efforts. Anthony and his staff can be contacted for assistance at Brownstone Construction Group, 1213 Lady Street, Suite 214, Columbia, SC 29201. Office: (803) 376-6044 | Fax: (803) 376-6099

alawrence@bstonegroup.com

www.bstonegroup.com

14. The floor was opened for questions from the audience:

Q: Is a list of drawings available?

A: See the 2nd sheet in the drawing set – A0101.

Q: Is the bottom of the shoring wall stepped down to a lower elevation near the end of the wall on the south end at Assembly Street? The foundation appears to be lower than the wall at this elevation.

A: It is possible that foundations will be slightly lower than the bottom of the soil nail wall at locations but this will be reviewed and any issues will be addressed by addendum.

Q: Will the final facing for the soil nail wall be included in the next bid package?

A: Yes.

Q: One option for the light-weight backfill is noted as Sta-lite. Is there another product available?

A: The design team is open to other products – submit for approval.

Q: Is the light-weight backfill only directly over the foundations where required?

A: No, the excavation is banked as shown. Refer to plan details.

Q: Water-reducing admixture is not specifically noted in the specifications. Can this be used?

A: That is certainly possible. The mix design(s) must be submitted for review and approval.

Q: Please clarify the location of the Architectural Concrete in the specifications.

A: Refer to drawings. The majority is at the lower level along the Park Street façade.

Q: There is a specification for Exposed Architectural Steel. Where does this occur?

A: refer to drawings. This is mainly on the exposed exterior stairs.

Q: Is the steel fabricator required to be a AISC certified shop?

A: Yes.

Q: It is noted that steel submittals are to be to column breaks. Is this required for all of the structure complete?

A: This is negotiable to an extent. The submittals must be for a reasonable and consistent portion of the facility.

Q: Is a tower crane required?

A: that would be a means and methods decision. The possibility for one to be used certainly exists but that is up to the bidder.

Q: Is there a plate girder detail provided that is sized?

A: Yes, see plans.

Q: How could arrangements be made for street closures if required?

A: Through the City of Columbia. It was noted that one lane on Greene Street and one on Park Street are currently closed for work in process now. These lanes will be closed for the duration. For complete temporary closure of a roadway the contractor must review and coordinate with the City of Columbia. It was also noted that The Koger Center had various functions and performances in the evenings and that any closures would have to be coordinated with them and the University as well.

Q: Regarding the Incentive Clause, is the Construction Manager on board for any hours or are there work limitations?

A: Yes, the CM is on board. The only work limitations are the typical limitations for coordinating work hours with traffic or parking requirements with the City, SCDOT (Assembly Street), and the University as required. Also, work cannot present a detriment to the learning atmosphere at the Coliseum or surrounding facilities at any time, or to the safety of staff, students and pedestrians around the area of the project site.

Q: Is this an engineered / balanced site?

A: No, it is not balanced. There is also very little room for stock-piling of spoils to be used for fill later.

Q: How do we know what the final grade is to be left at outside the building lines after backfill and will import soils be required?

A: A drawing is provided that shows the final grades outside the building lines. It is possible that import soils will be required.

Q: Is any masonry included?

A: No. masonry will be included in the next bid package.

Q: What are the fiber dosing rates for fiber reinforcing?

A: We will review to ensure this is provided in the specifications (follow up – see specifications).

Q: A number of the “A” series drawings are blurry. Is there another source?

A: We will review.

Q: What is the anticipated Notice to Proceed date?

A: Following the bid opening, the Notice of Intent to Award should be posted within one week. There will be a 10 day Protest Period. The actual Notice to Proceed will depend upon getting contracts signed and acceptable bonds and insurance certificates in from the contractor, but we would anticipate this for the week following the end of the Protest Period.

END OF MINUTES



UNIVERSITY OF SOUTH CAROLINA

Darla Moore School of Business Construction – BP-2 Structure

Pre-Bid Meeting

January 5, 2012 @ 10:00 AM

SIGN – IN SHEET

NAME & COMPANY	ADDRESS / LOCATION	PHONE / FAX / CELL	EMAIL
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Russ Hinds-Gilbane	1320 main st, Co	803-200-3947	rhinds@gilbane.co.com
Chad Branton -GS2	1200 Victoria Rd, Colo, SC	803-513-1393	chbranton@gs2engineering.com



UNIVERSITY OF SOUTH CAROLINA

Darla Moore School of Business Construction - BP-2 Structure

Pre-Bid Meeting

January 5, 2012 @ 10:00 AM

SIGN - IN SHEET

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Justin Garrett Precision Concrete	Alpharetta, GA	770-791-3887	justing@precision-concrete.com
Charles Edwards Edison Inc.	Pearle, SC	803-345-3791	josh@edconinc.com
Lammy Templeton	Columbia, SC	803 376-6044	templeton@bstonegroup.com



CUMMING SMG

UNIVERSITY OF SOUTH CAROLINA

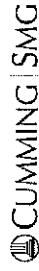
Darla Moore School of Business Construction - BP-2 Structure

Pre-Bid Meeting

January 5, 2012 @ 10:00 AM

SIGN - IN SHEET

NAME & COMPANY	ADDRESS / LOCATION	PHONE / FAX / CELL	EMAIL
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COLUMBIA, SC

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PRE-BID CONFERENCE
UNIVERSITY OF SOUTH CAROLINA – DARLA MOORE SCHOOL OF BUSINESS
BP-2 STRUCTURE – STATE PROJECT NO. H27-6069-AC-2
JANUARY 5, 2012 @ 10:00AM

AGENDA

- I. Introductions
- II. Project Description and Scope
- III. Bid Date and Location

 University of South Carolina - Campus Planning and Construction
 743 Greene Street
 Columbia, South Carolina 29208
 Wednesday, January 25, 2012
 Bids Due: 2:00 P.M. EST
- IV. Bidding Requirements
 - 1 Instructions to Bidders – AIA A701 – 1997 Edition
 - 2 Standard Supplementary Instructions to Bidders – OSE 00201
 - 3 Bid Security – 5% of the Base Bid
 - 4 Bidders must be properly licensed for this project
 - 5 Bids must be received by the time indicated. Late bids will be rejected
 - 6 Bids may not be qualified
 - 7 Bid Form – Completed SE-330. Enclosed in a sealed, opaque envelope, bearing name, address of the bidder, and name and number of project.
 - 6 Acknowledge Receipt of addenda
 - 7 Time of Completion and Liquidated Damages
 - 7 All bids must be signed and must comply with the laws of South Carolina
- V. Substitution Requests- 10 days prior (Friday, January 13, 2011)
- VI. Addenda – Last addenda to be issued no later than 2:00 PM, Friday, January 20, 2012
- VII. Review of Plans and Specifications
 - 1 Owner and Contractor Agreement – AIA A201, 2007 Edition
 - 2 Standard Modifications – OSE 00501
 - 3 Standard Supplementary Conditions – OSE 00811
 - 4 USC Supplemental Conditions
 - 5 Summary of Work
 - 6 Permits & Rights of Way
 - 7 Testing & Inspection Services
 - 8 LEED Initiatives
- VIII. SWMBE Overview
- IX. Questions and Answers

NPDES GENERAL PERMIT FOR STORM WATER DISCHARGES
FROM CONSTRUCTION ACTIVITIES THAT ARE CLASSIFIED AS
"ASSOCIATED WITH INDUSTRIAL ACTIVITY"
BY EPA REGULATION
(PERMIT NO. SCR1000000.)

CO-PERMITTEE AGREEMENT

All contractors and subcontractors of the owner/operator whose activities at the construction site may impact storm water discharges or controls at the construction site along the duration of the construction project, shall sign a copy of the certification statement given below:

"I certify by my signature below that I accept the terms and conditions of the Storm Water Pollution Prevention Plan (SWPPP) as required by the general National Pollutant Discharge Elimination System (NPDES permit number SCR1000000) issued to the owner/operator of the construction activity for which I have been contracted to perform construction related professional services. Further, by my signature below, I understand that I am becoming a co-permittee with the owner/operator and other contractors that have become co-permittee to the general NPDES permit issued to the owner/operator of the facility for which I have been contracted to perform professional construction services. As a co-permittee, I understand that I, and my company, as the case may be, are legally accountable to the SC Department of Health and Environmental Control (DHEC), under the authorities of the CWA and the SC Pollution Control Act, to ensure compliance with the terms and conditions of the SWPPP. I also understand that DHEC enforcement actions may be taken against any specific co-permittee or combination of co-permittee if the terms and conditions of the SWPPP are not met. Therefore, having understood the above information, I am signing this certification and am receiving co-permittee status to the aforementioned general NPDES permit." The date of the signature, the title of the person providing the signature, and the name, address, and telephone number of the contracted firm, shall also be provided. In the event the SWPPP is amended by the owner, such amendments should be incorporated to the plan and the contractors and subcontractors should acknowledge by signature.

The signatory requirements of 40 CFR 122.22, as provided in Part VI.0 of Permit No. SCR1000000 are applicable to each contracted entity that must sign the contractor's certification statement. Upon signing the certification, the contractor is a co-permittee and becomes accountable to the Department to ensure the terms and conditions of Permit No.: SCR1000000 are implemented. All co-permittee are subject to Department enforcement actions if Permit No. SCR1000000 conditions are not met. Enforcement actions may be taken against any specific co-permittee or combination of co-permittee, with consideration given to the party responsible for the violation. The owner/operator submitting the NOI shall retain all contractor certifications for at least three years after a contractor has completed work at the site. Copies of all contractor certifications and a copy of Permit No. SCR1000000 shall be retained on the site of the construction activity. The owner/operator of the construction project covered by Permit No. SCR1000000 shall make all contractor certifications available upon request to the Department.

NPDES GENERAL PERMIT FOR STORM WATER DISCHARGES
FROM CONSTRUCTION ACTIVITIES THAT ARE CLASSIFIED AS
"ASSOCIATED WITH INDUSTRIAL ACTIVITY" BY EPA REGULATION
(PERMIT NO. SCRIOOOOO.)

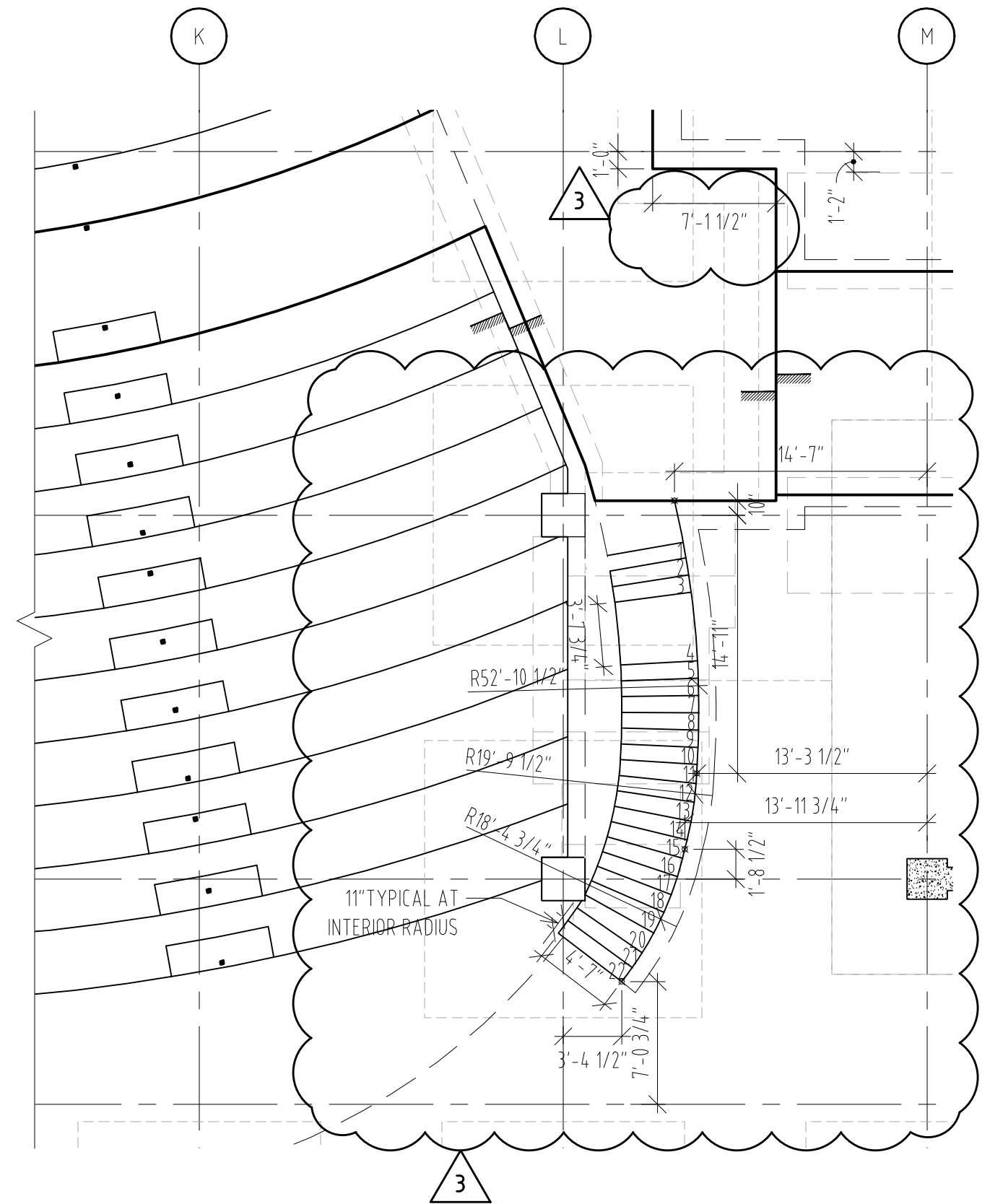
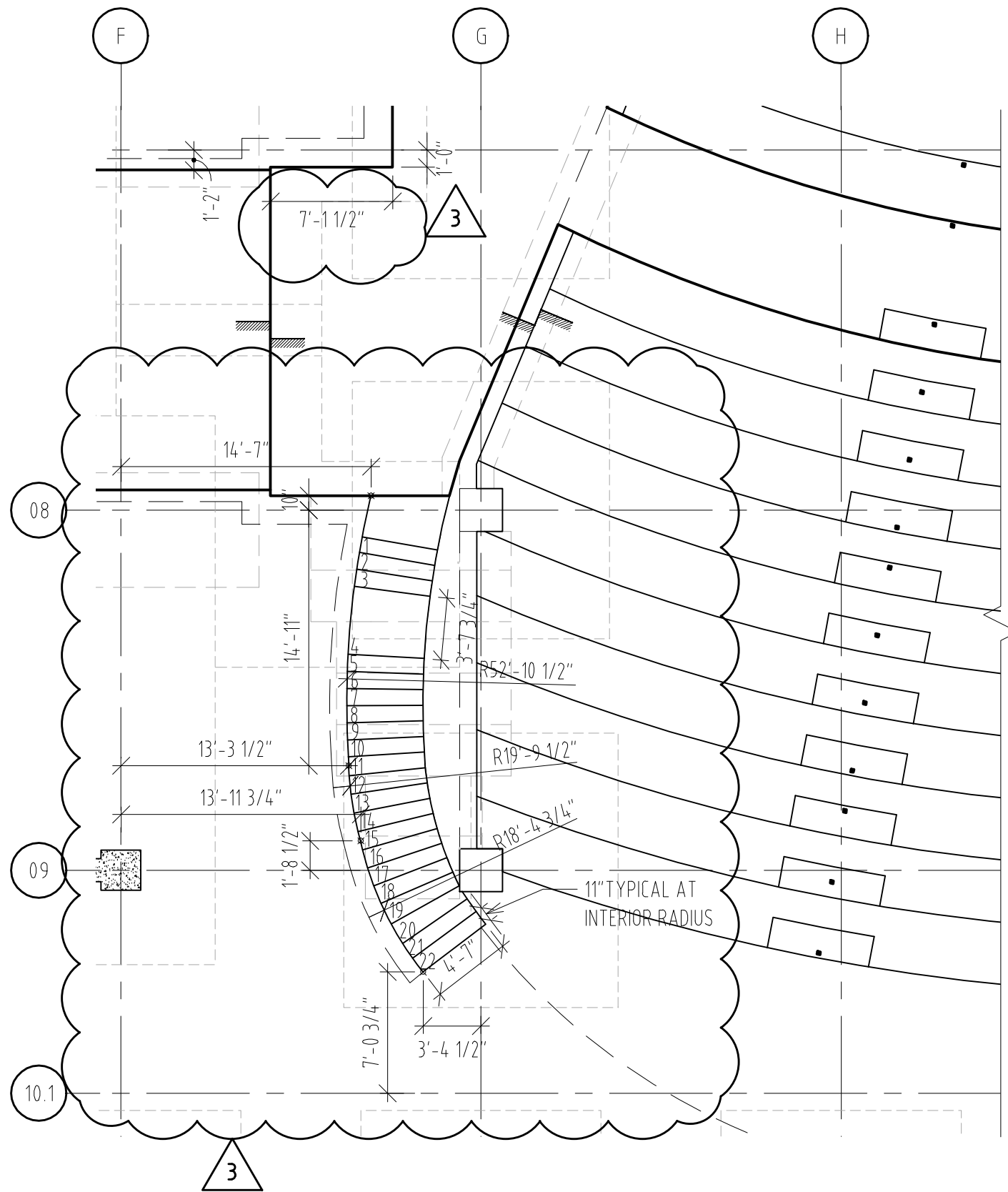
CONTRACTOR'S CERTIFICATION

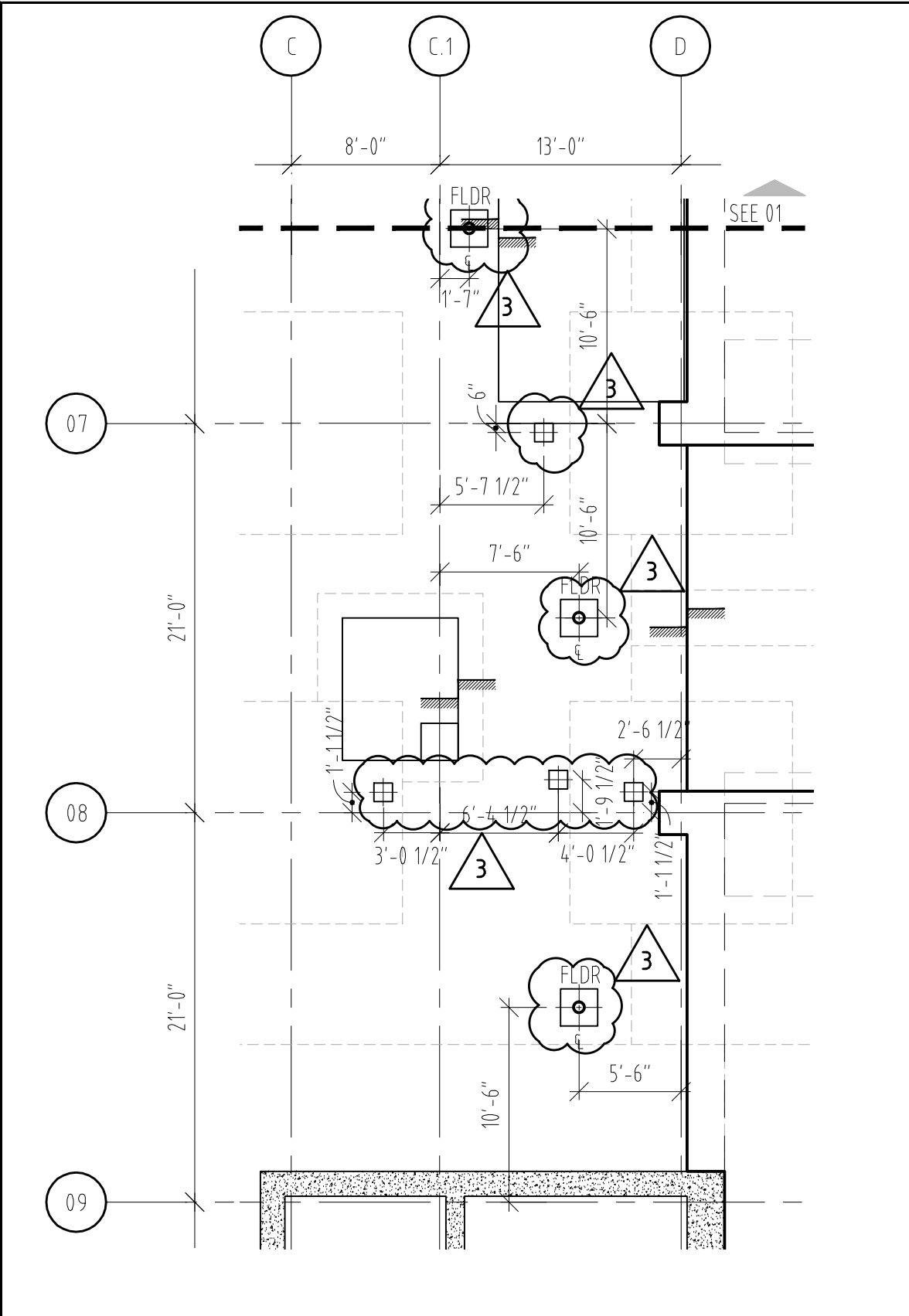
Certification as co-permittee with _____
(Name of Owner/Operator of construction project covered under general permit) under the South Carolina NPDES General Permit for Storm Water Discharges From Construction Activities That Are Classified As "Associated With Industrial Activity" by EPA Regulation (Permit No. SCRIOOOOO.)

I certify under penalty of law that understand the terms and conditions of the National Pollutant Discharge Elimination System (NPDES) permit that authorizes the storm water discharges associated with industrial activity from the construction project of the owner/operator identified as part of this certification.

Signature	For	Responsible for
<div>Name</div> <div>Position</div> <div>Signature</div> <div>Date</div>	<div>Company</div> <div>Address</div> <div>City, State, Zip</div> <div>Phone:</div>	<div>Activity</div>
<div>Name</div> <div>Position</div> <div>Signature</div> <div>Date</div>	<div>Company</div> <div>Address</div> <div>City, State, Zip</div> <div>Phone</div>	<div>Activity</div>

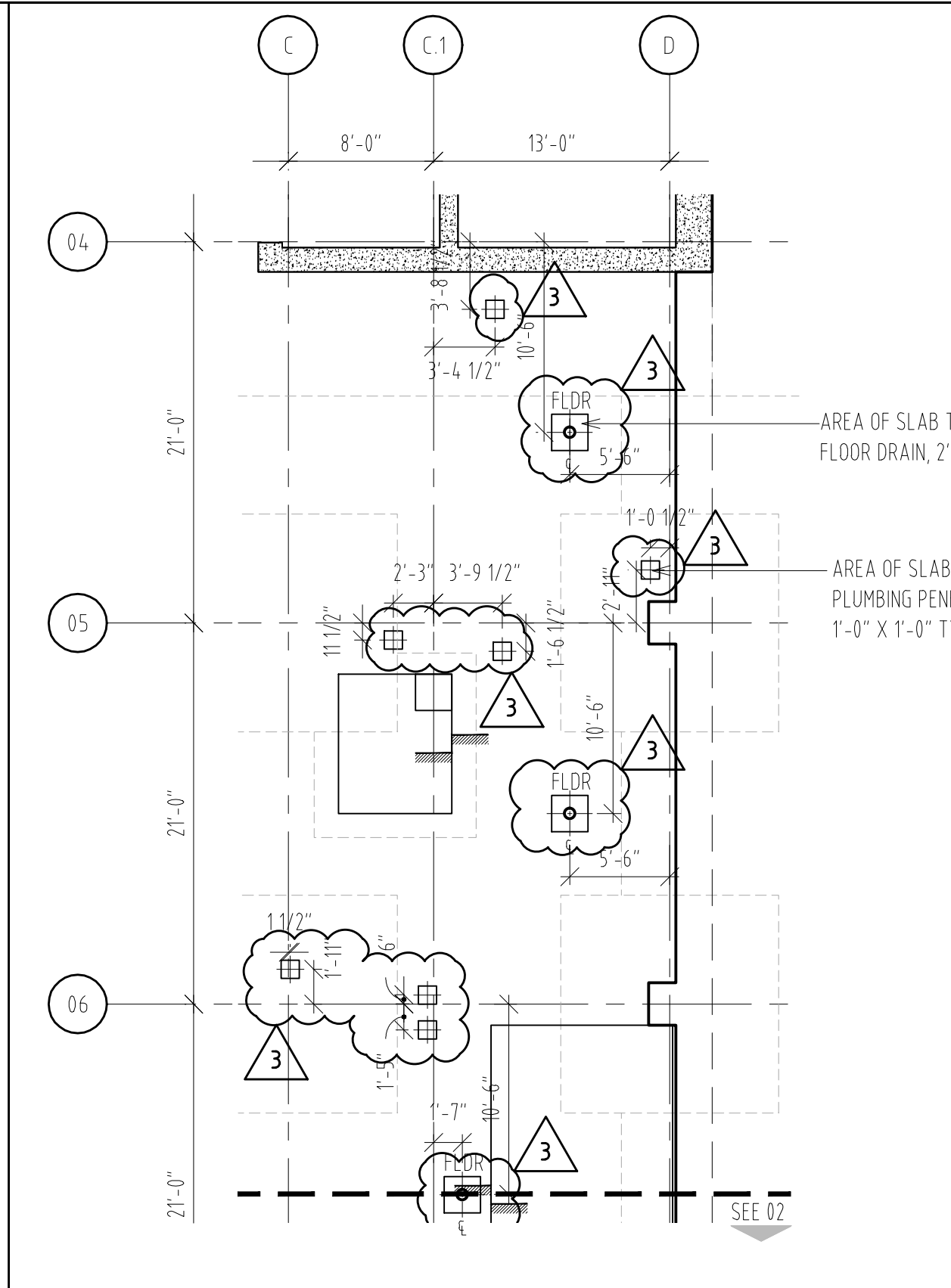
Signature	For	Responsible for
<div>Name</div> <div>Position</div> <div>Signature</div> <div>Date</div>	<div>Company</div> <div>Address</div> <div>City, State, Zip</div> <div>Phone:</div>	<div>Activity</div>
<div>Name</div> <div>Position</div> <div>Signature</div> <div>Date</div>	<div>Company</div> <div>Address</div> <div>City, State, Zip</div> <div>Phone</div>	<div>Activity</div>
Signature	For	Responsible for
<div>Name</div> <div>Position</div> <div>Signature</div> <div>Date</div>	<div>Company</div> <div>Address</div> <div>City, State, Zip</div> <div>Phone:</div>	<div>Activity</div>





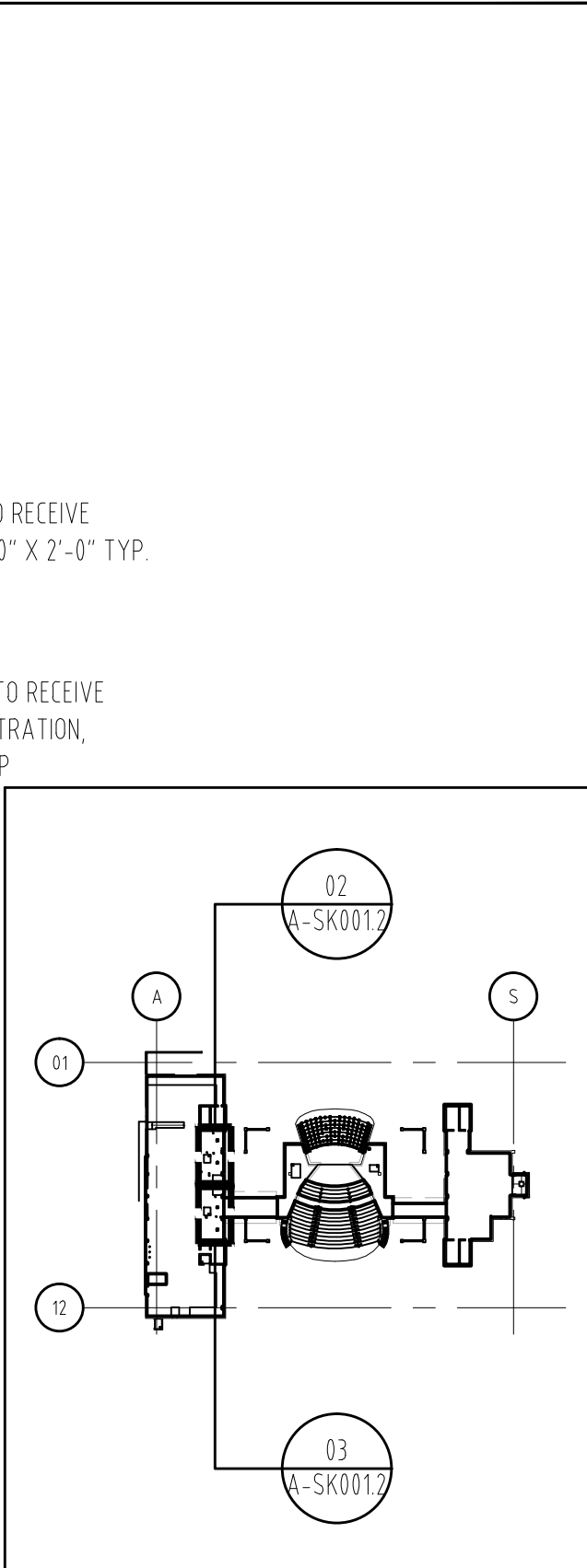
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03



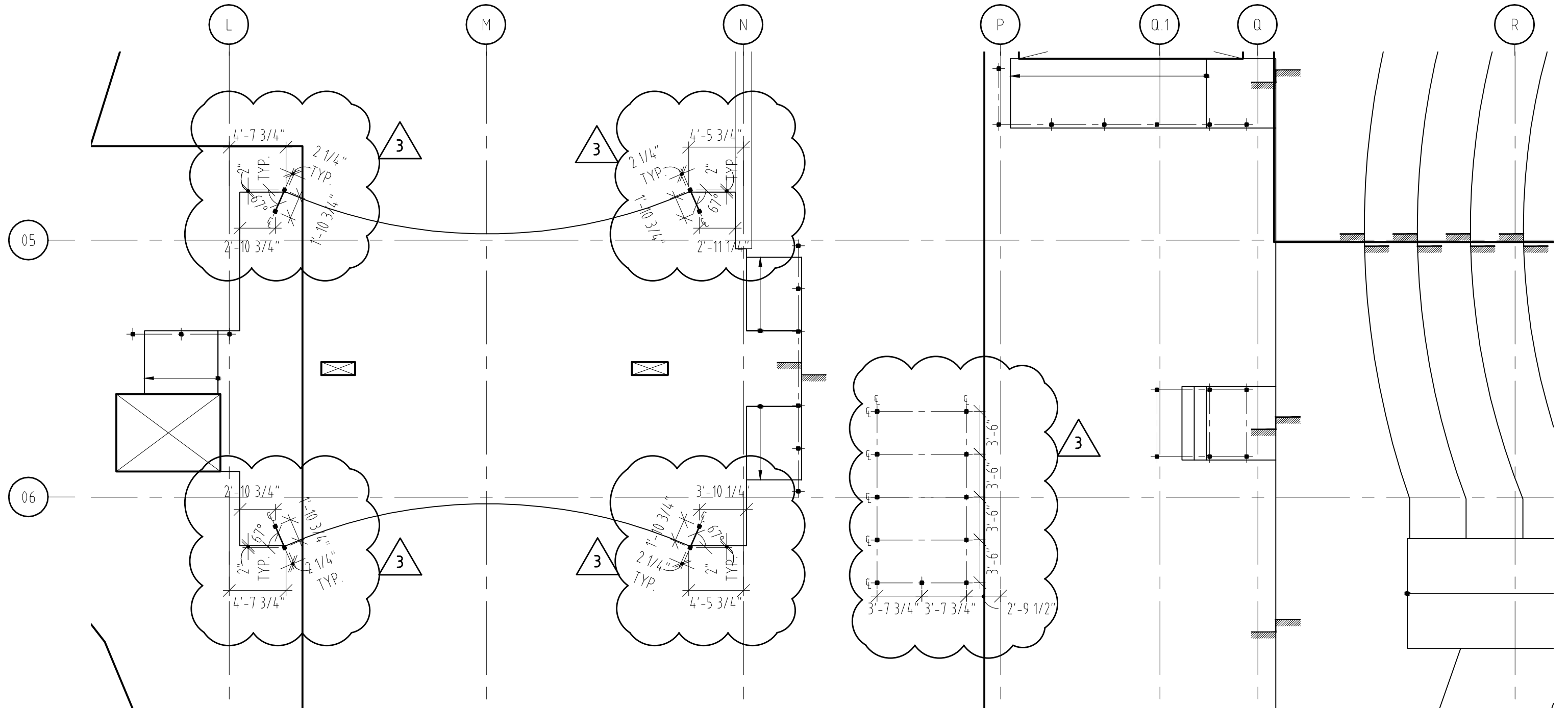
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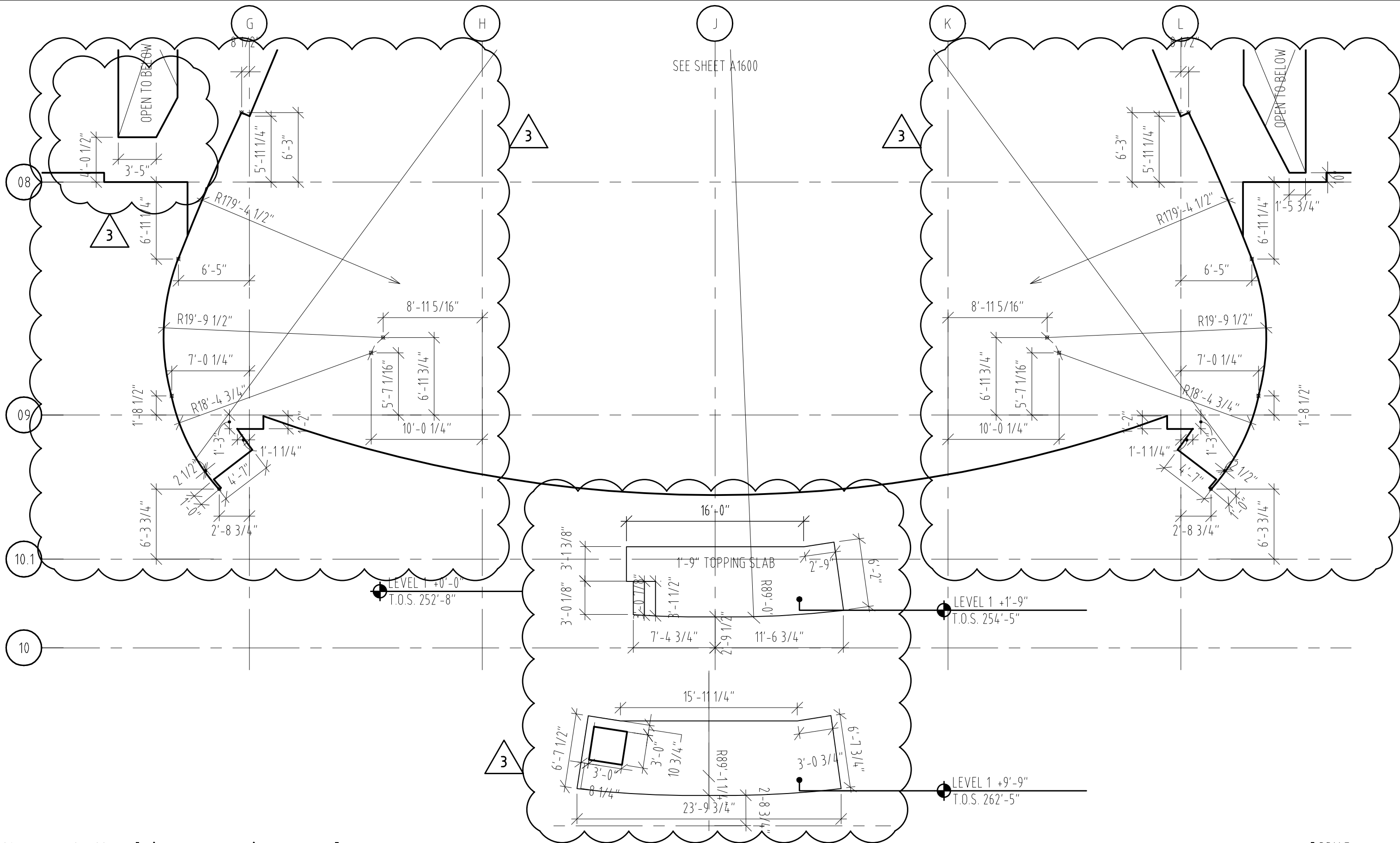
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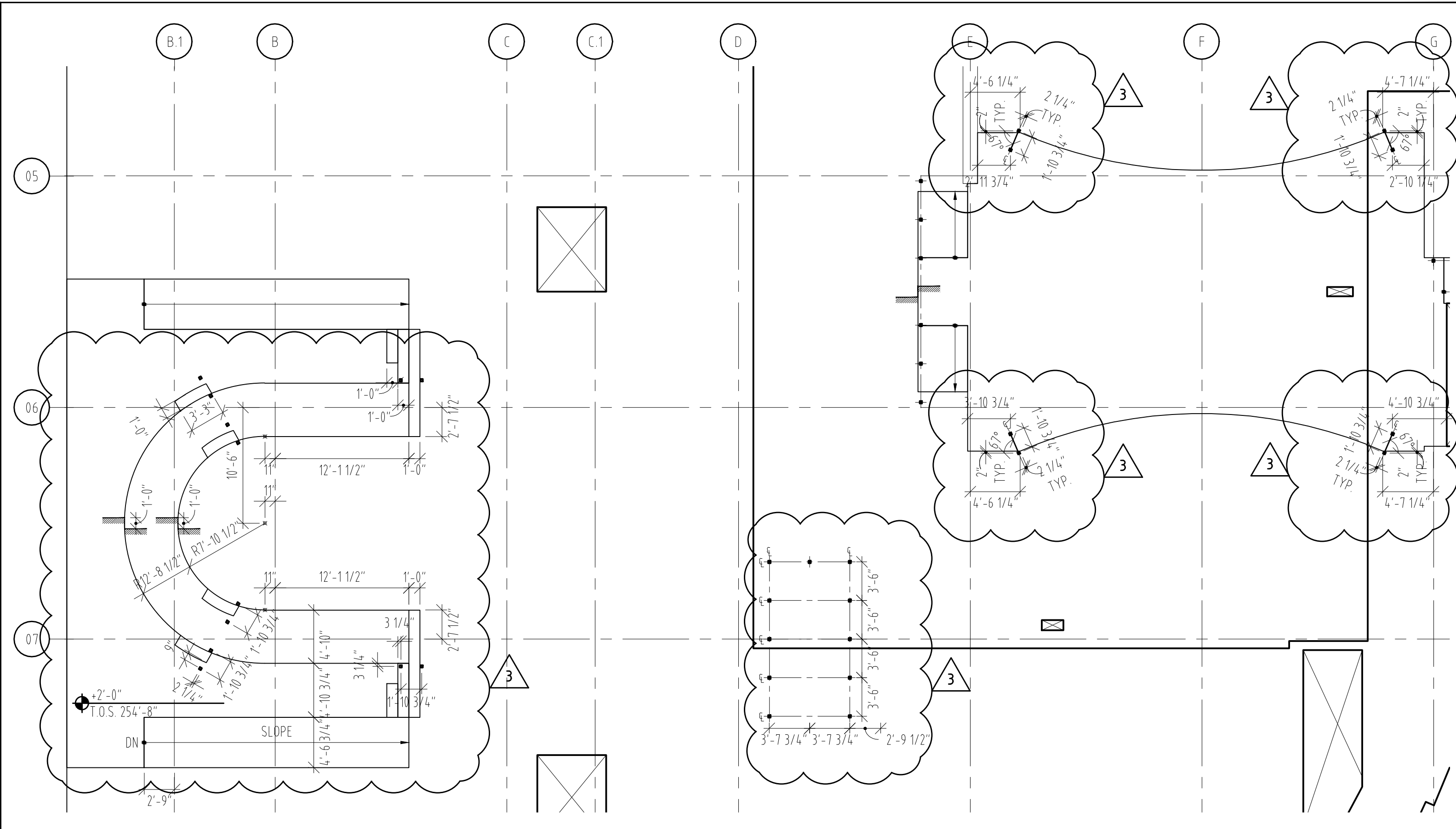


LEVEL 0 - SLAB EDGE KEY PLAN
SCALE : 1" = 2000"

01





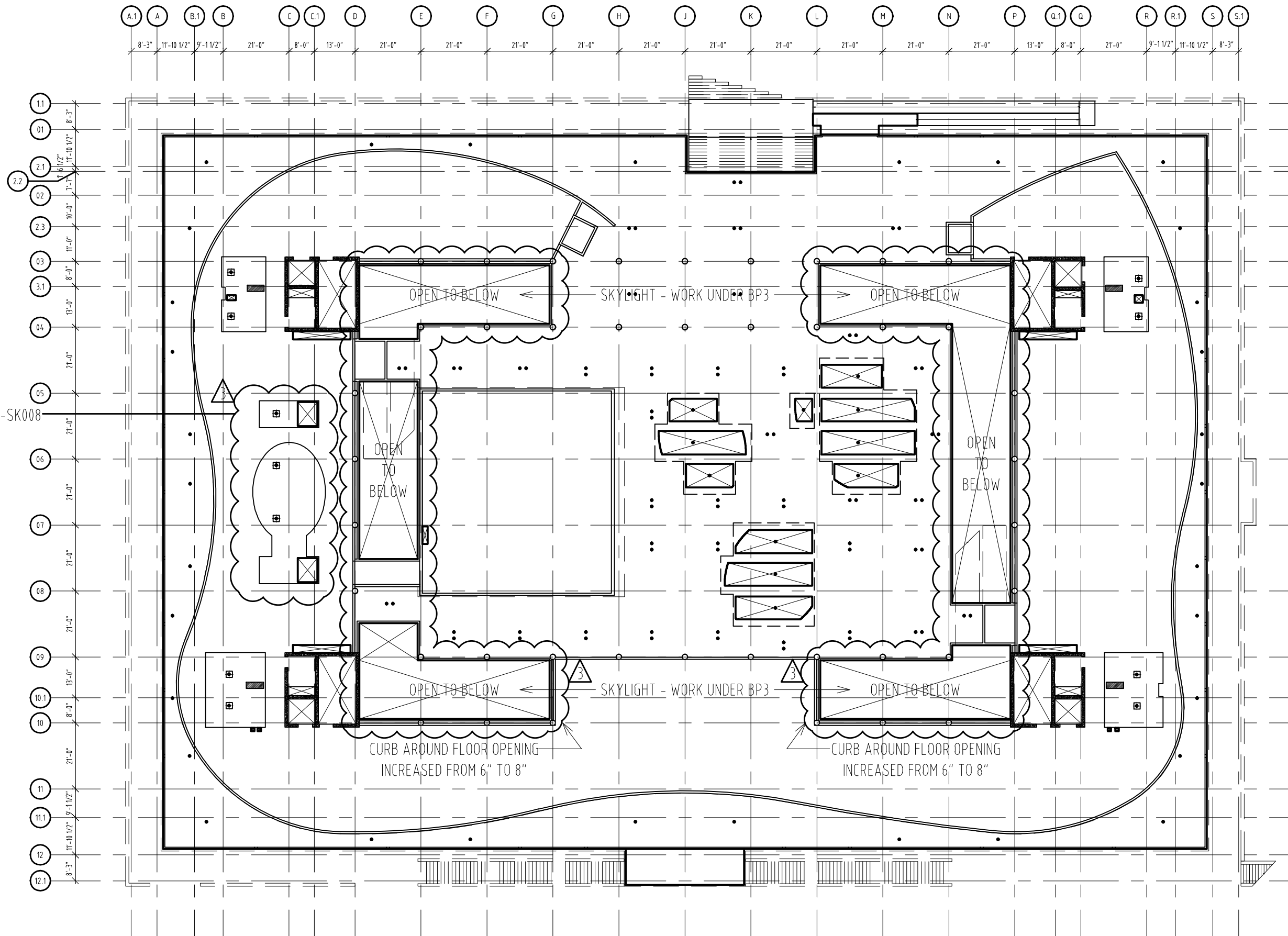


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PROJECT NO. 655.000

2012.01.11
RAFAEL VINOLY ARCHITECTS PC

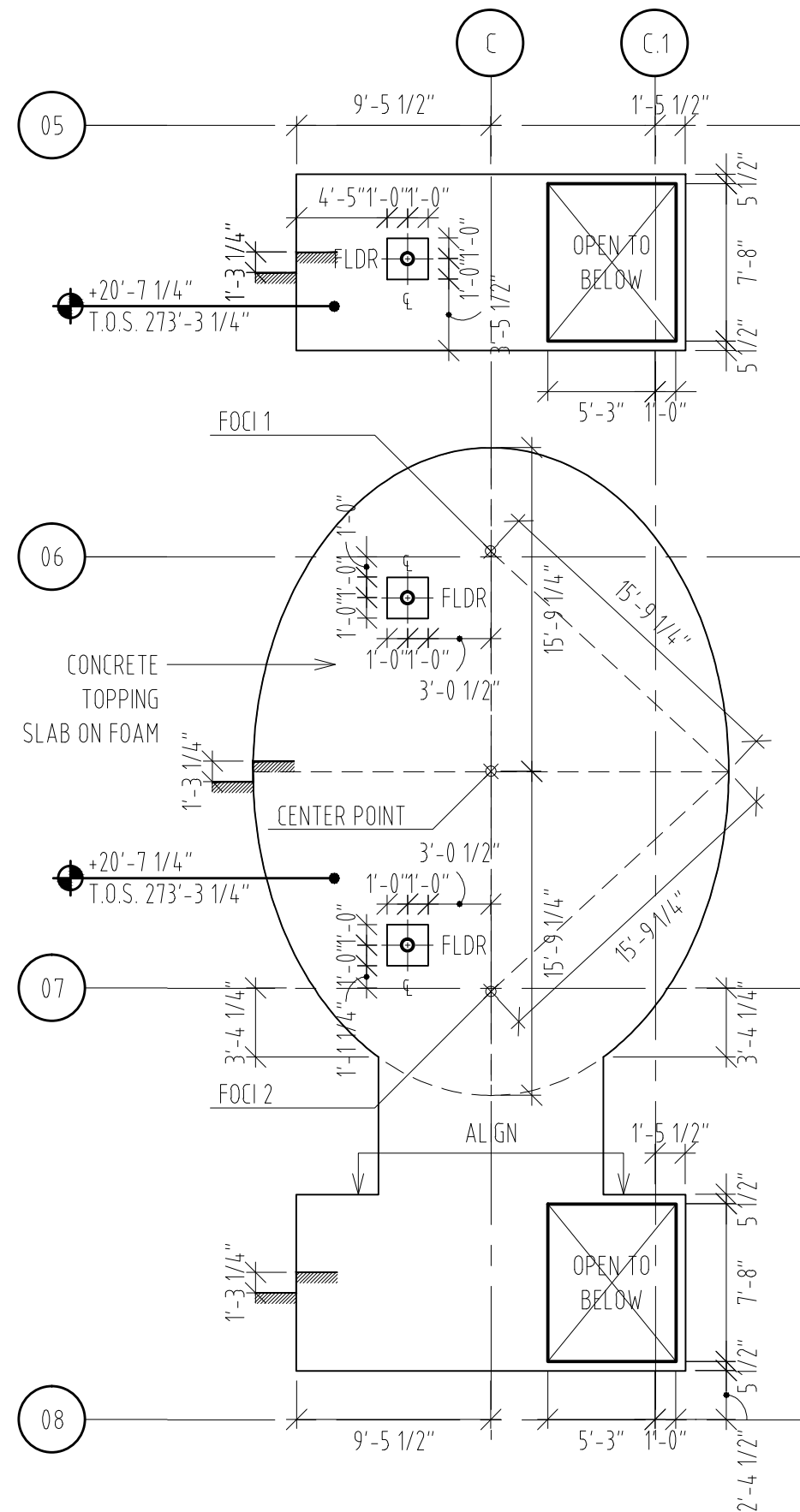
SLAB EDGE LOCATION OF HANDRAIL/GUARDRAIL POSTS & DEEP 'U' CASE ROOM 111 - LEVEL 1
REF. DWG # A1610, A1610D, A1610E
SHEET TITLE :

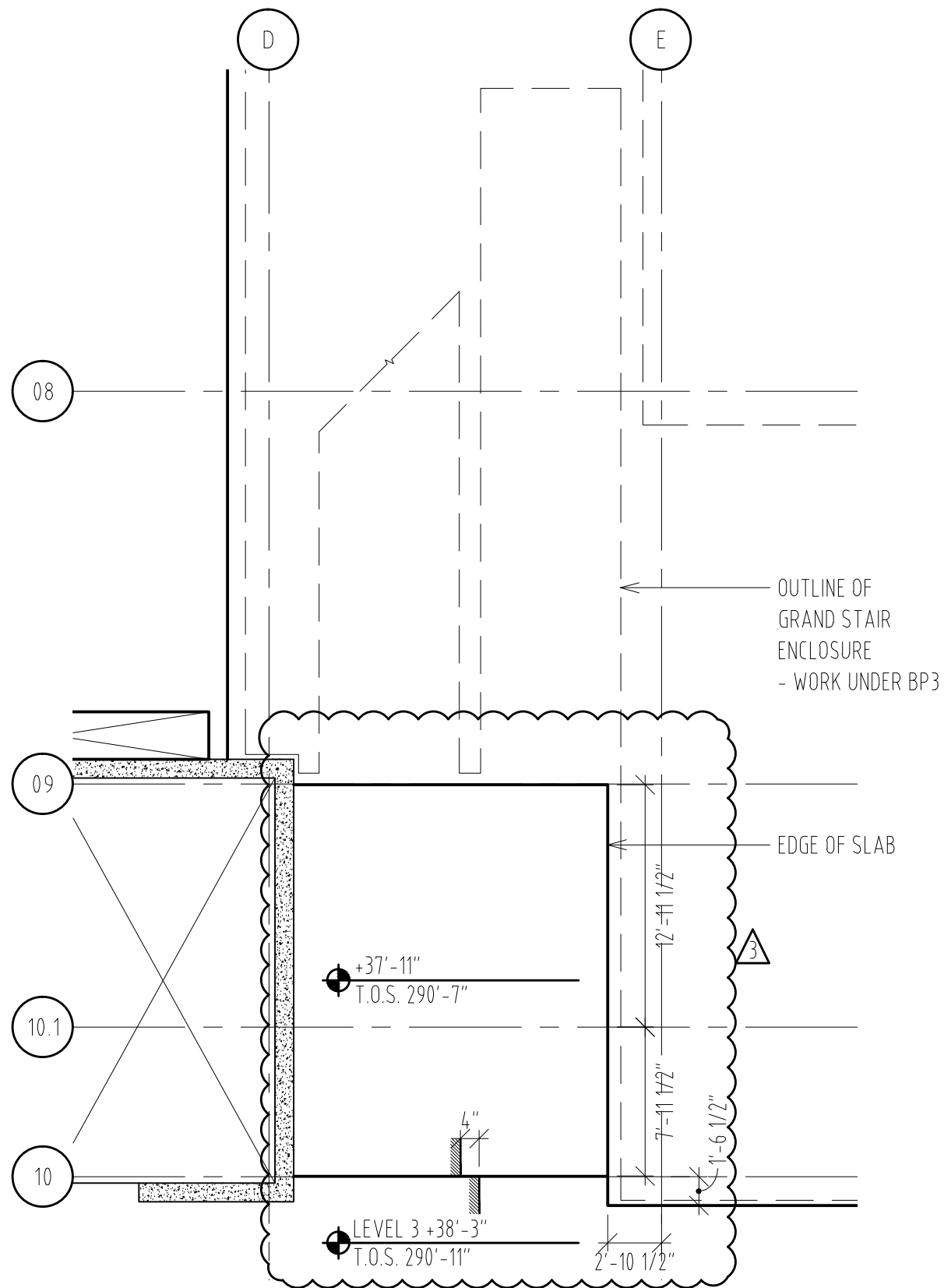
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A-SK-006



SC GRID NORTH

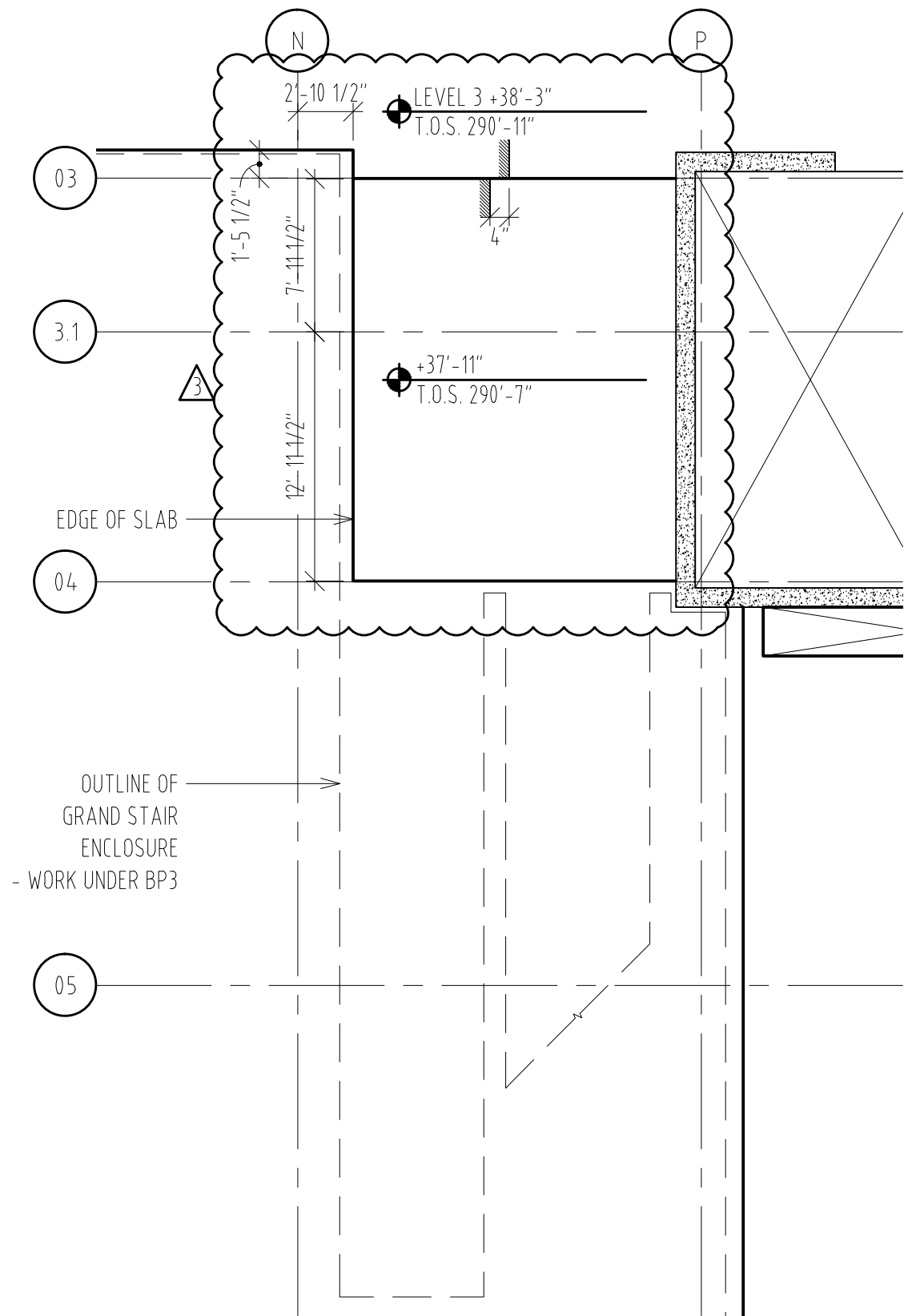






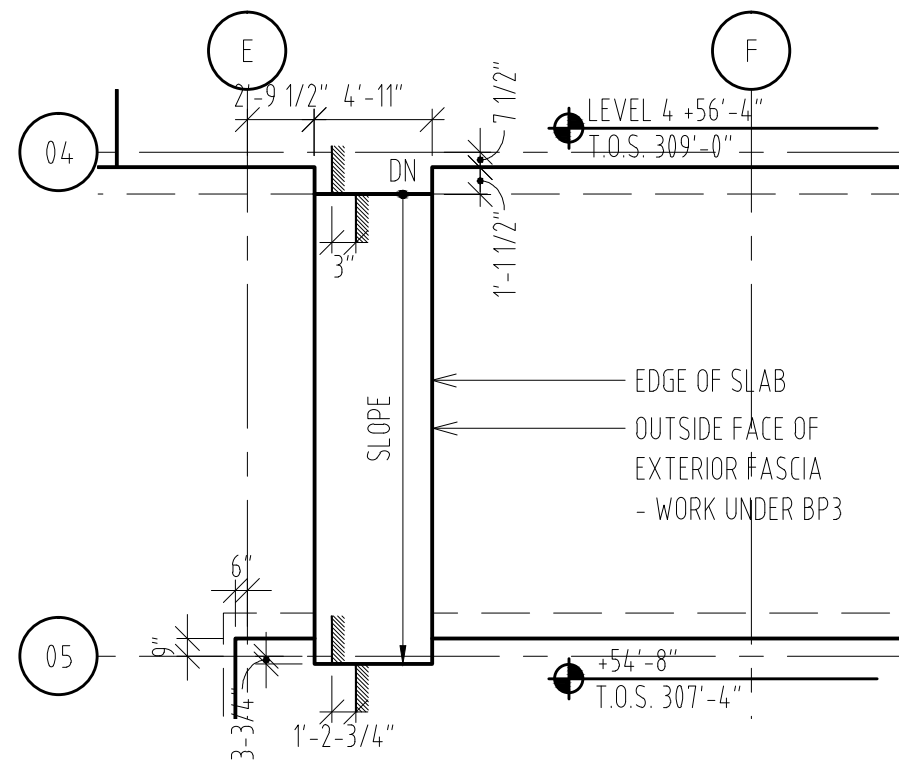
SLAB EDGE PLAN - LEVEL 3
SCALE 1/8" = 1'-0"

02



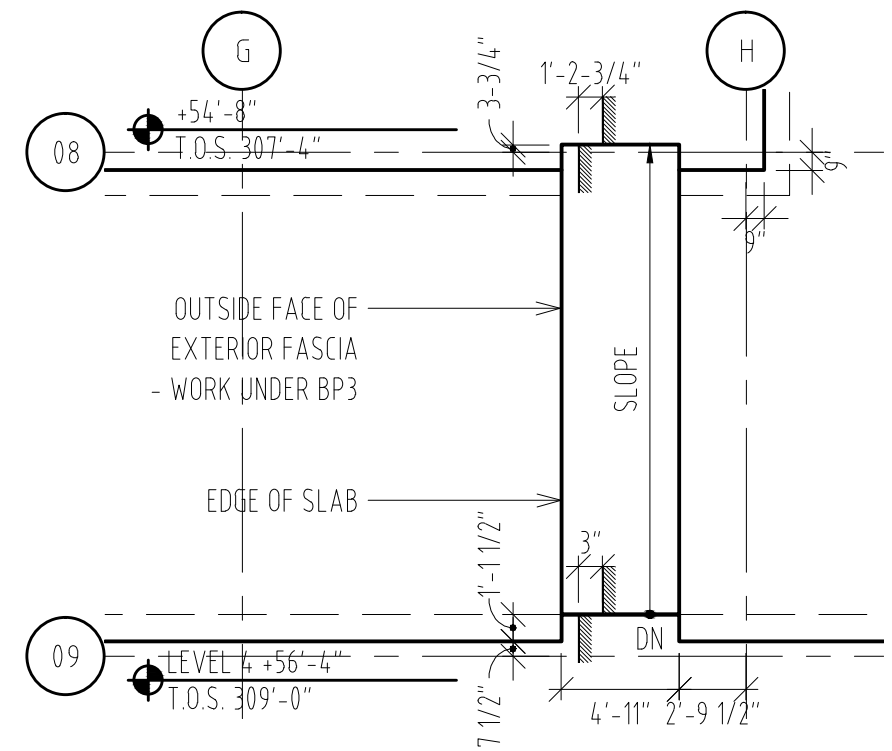
SLAB EDGE PLAN - LEVEL 3
SCALE 1/8" = 1'-0"

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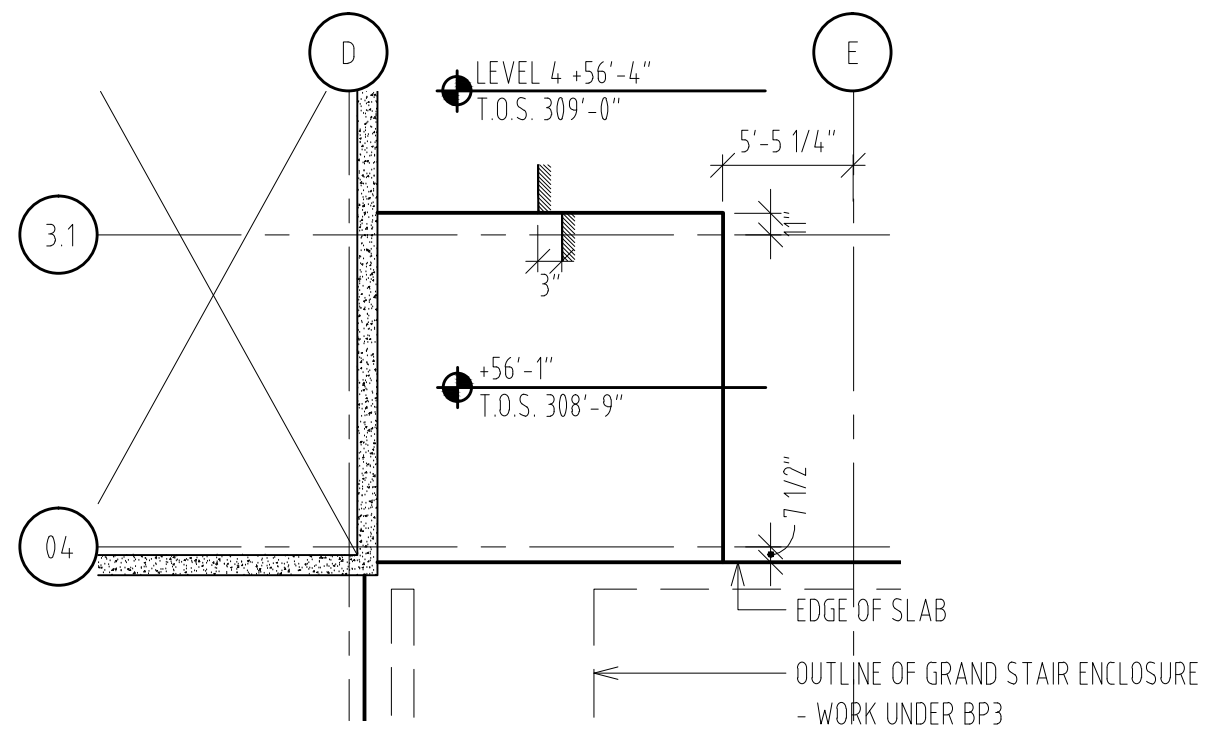
SLAB EDGE PLAN - LEVEL 4
SCALE 1/8" = 1'-0"

04



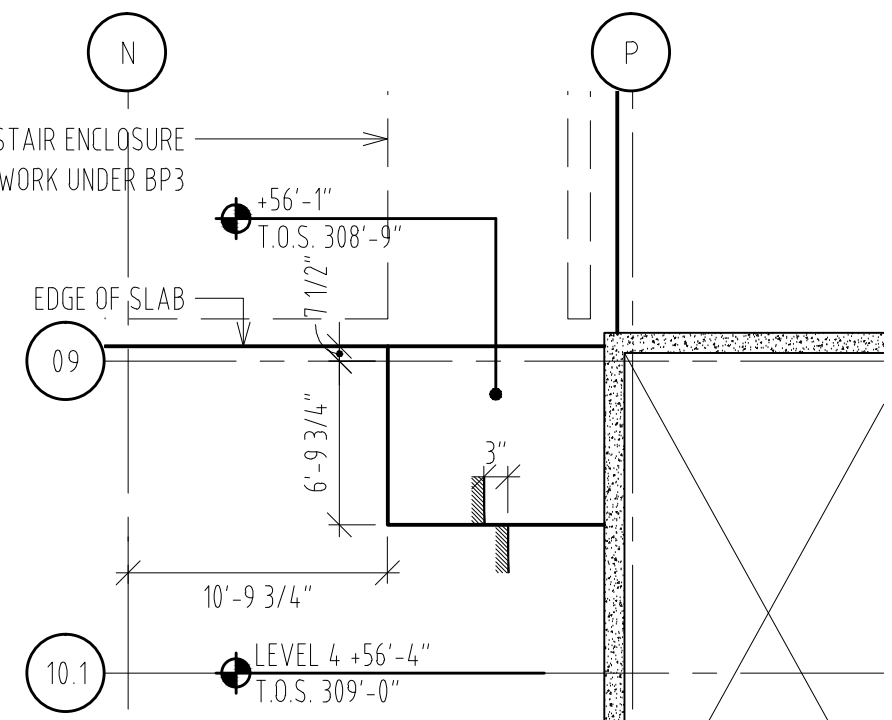
SLAB EDGE PLAN - LEVEL 4
SCALE 1/8" = 1'-0"

03



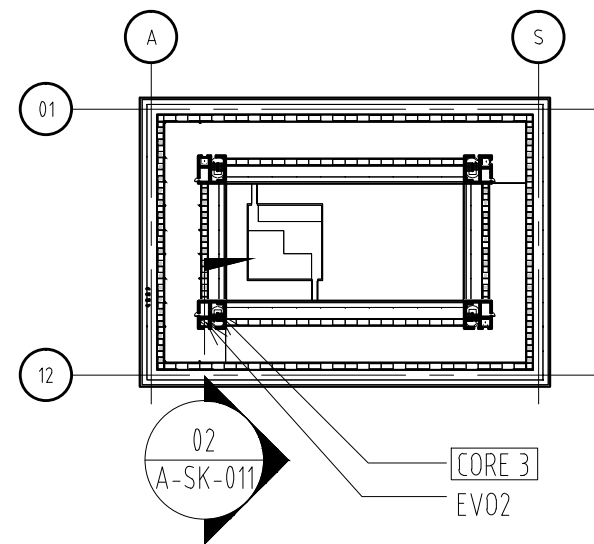
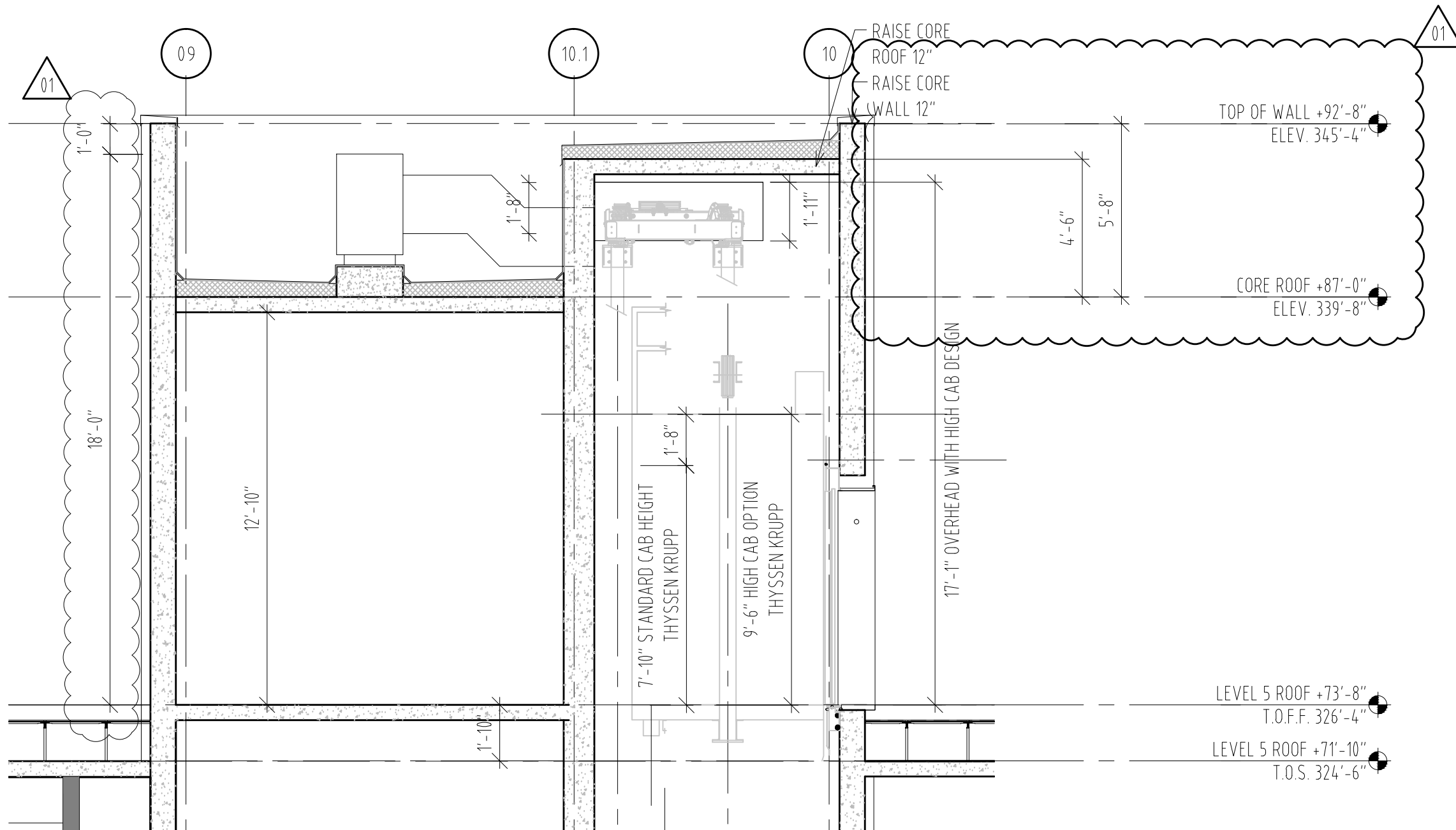
SLAB EDGE PLAN - LEVEL 4
SCALE 1/8" = 1'-0"

02



SLAB EDGE PLAN - LEVEL 4
SCALE 1/8" = 1'-0"

01



ENLARGED SECTION
SCALE : 1/4" = 1'-0"

02

LEVEL 5 - KEY PLAN
SCALE : 1" = 2000"

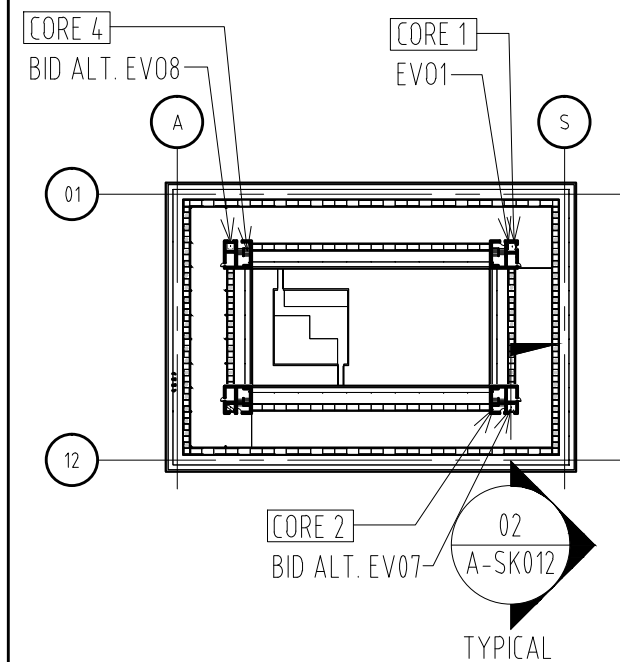
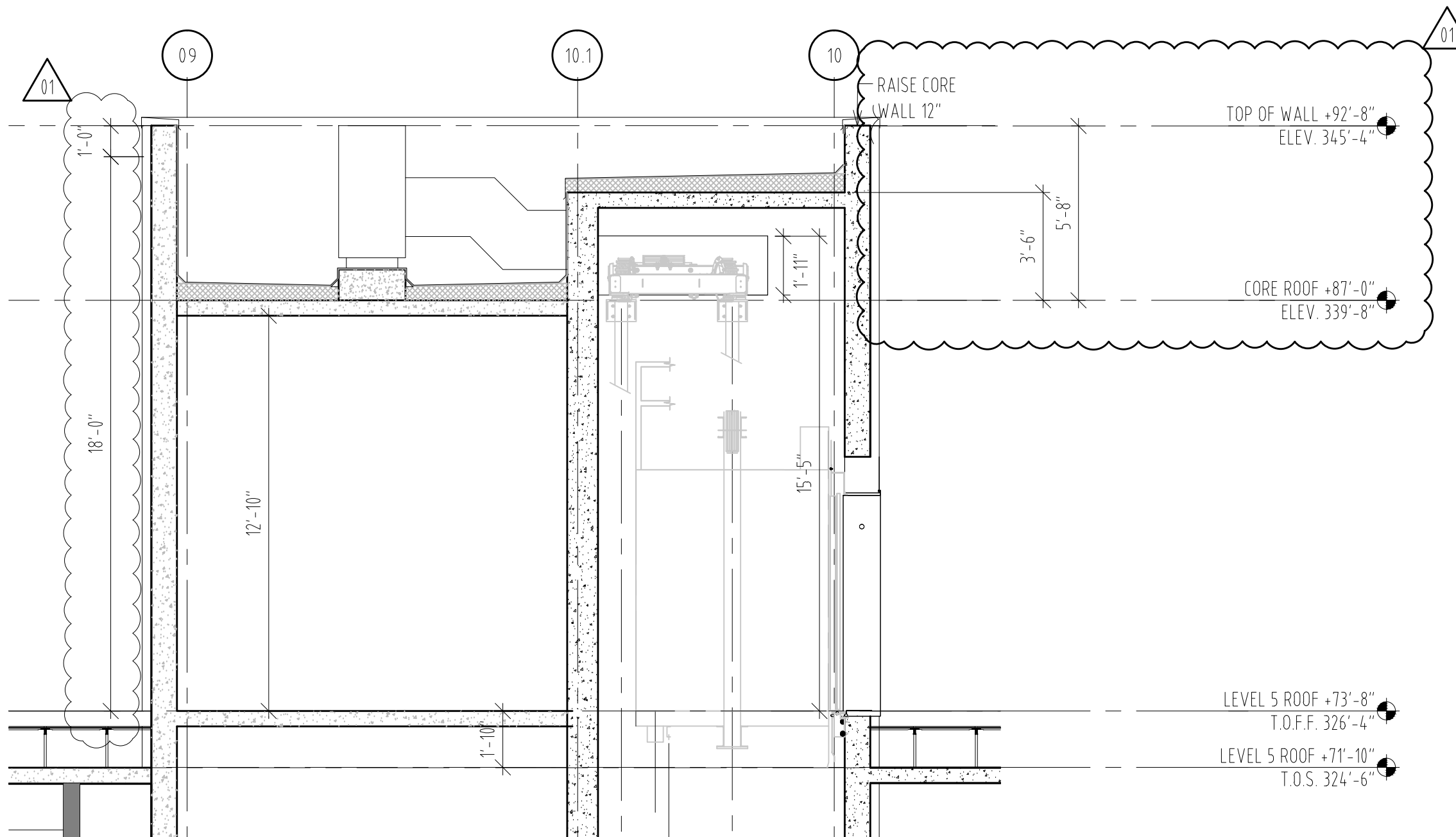
01

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PROJECT NO. 655.000

1 2012.01.11
B 2012.01.09
A 2011.12.22
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RAISE ELEVATOR SHAFT ROOF & CORE WALL BY 12" @ CORE 3
REF. DWG # A4232
SHEET TITLE :

SCALE :
1/4" = 1'-0"
SHEET NUMBER :
A-SK-011



ENLARGED SECTION
SCALE : 1/4" = 1'-0"

02

LEVEL 5 - KEY PLAN
SCALE : 1" = 2000"

01

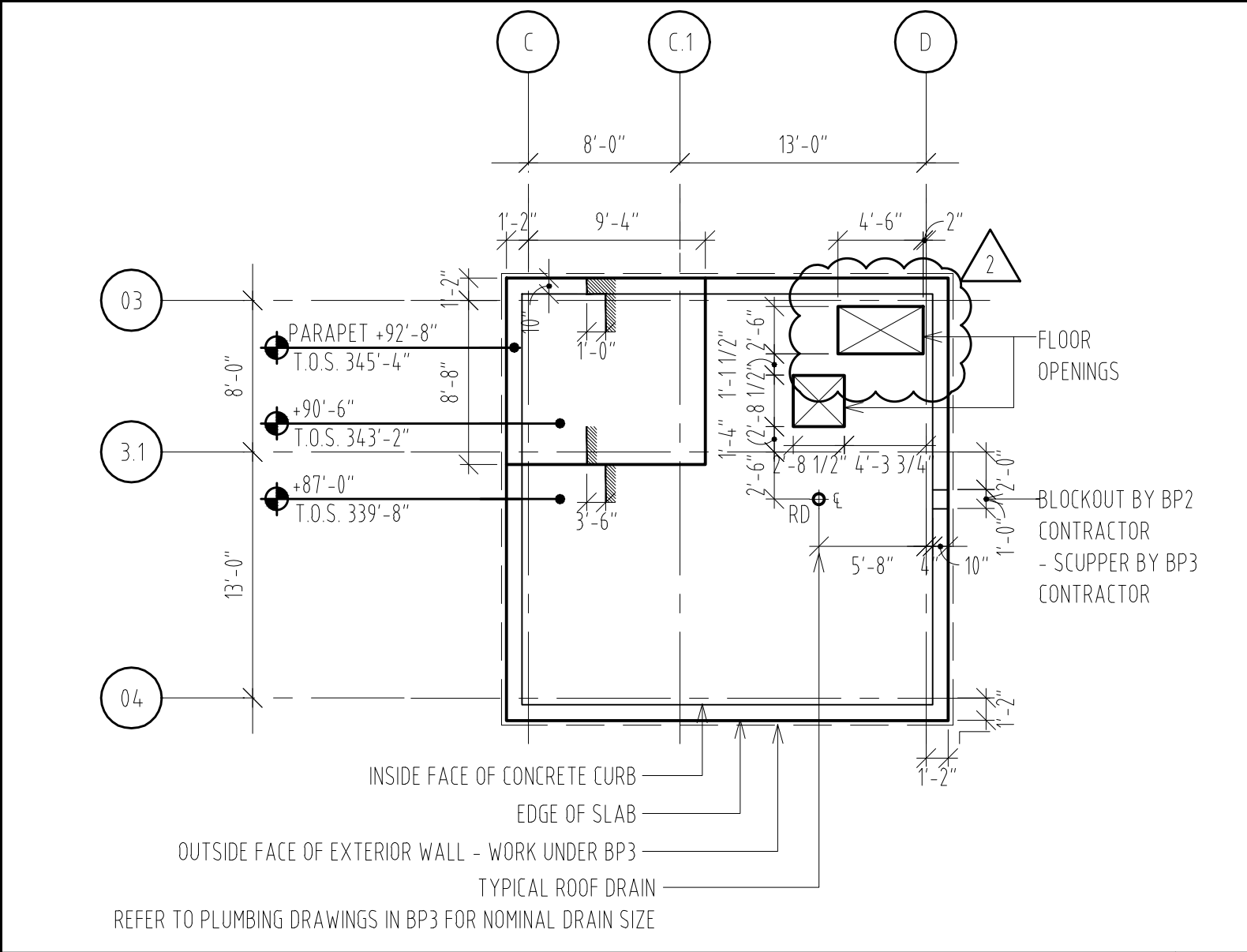
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BP2-STRUCTURE ADDENDUM #001
PROJECT NO. 655.000

1 2012.01.11
B 2012.01.09
A 2011.12.22
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RAISE CORE WALLS BY 12" @ CORES 1, 2, 4
REF. DWG # A4212, A4222, A4242

SHEET TITLE :

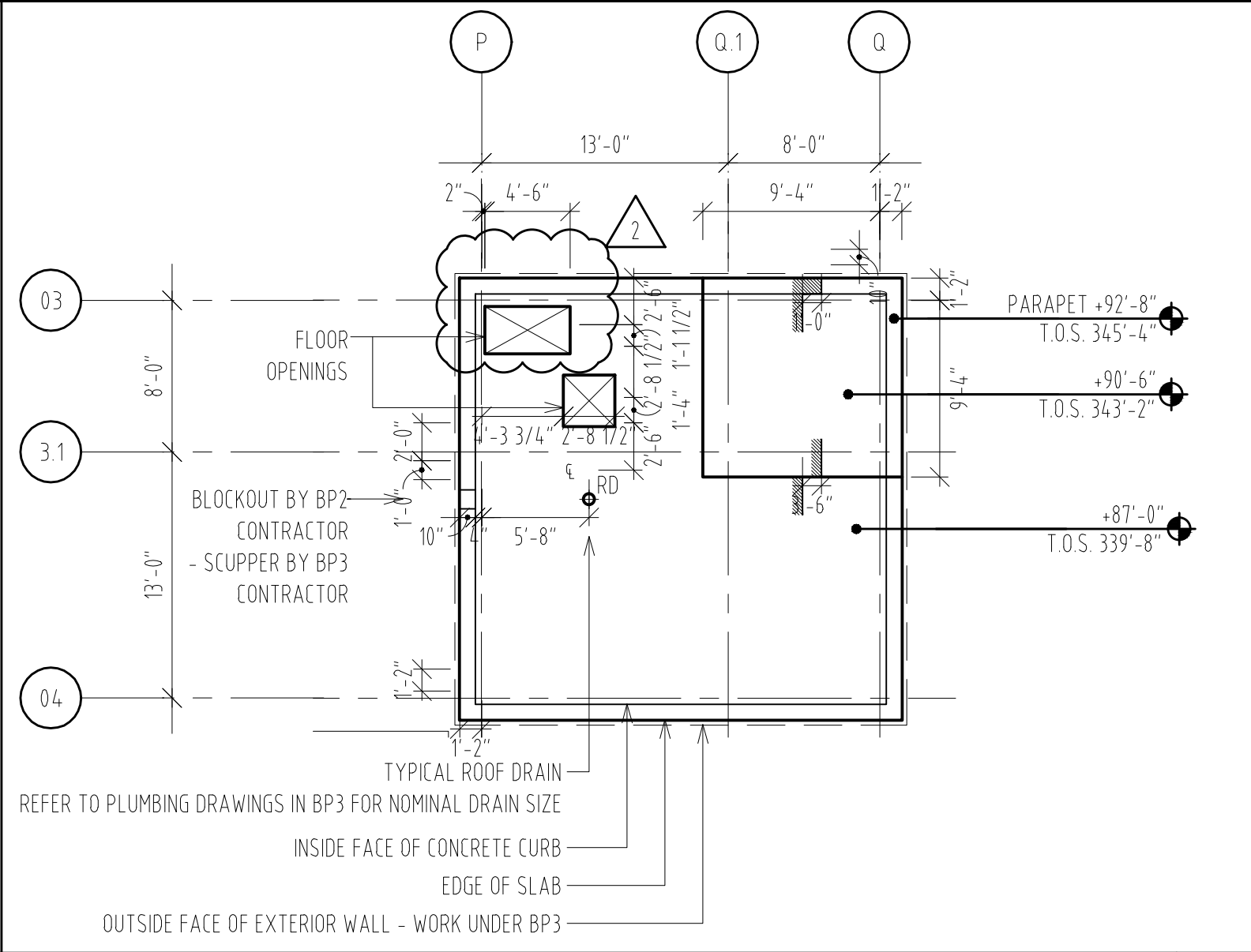
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SHEET NUMBER :
A-SK-012



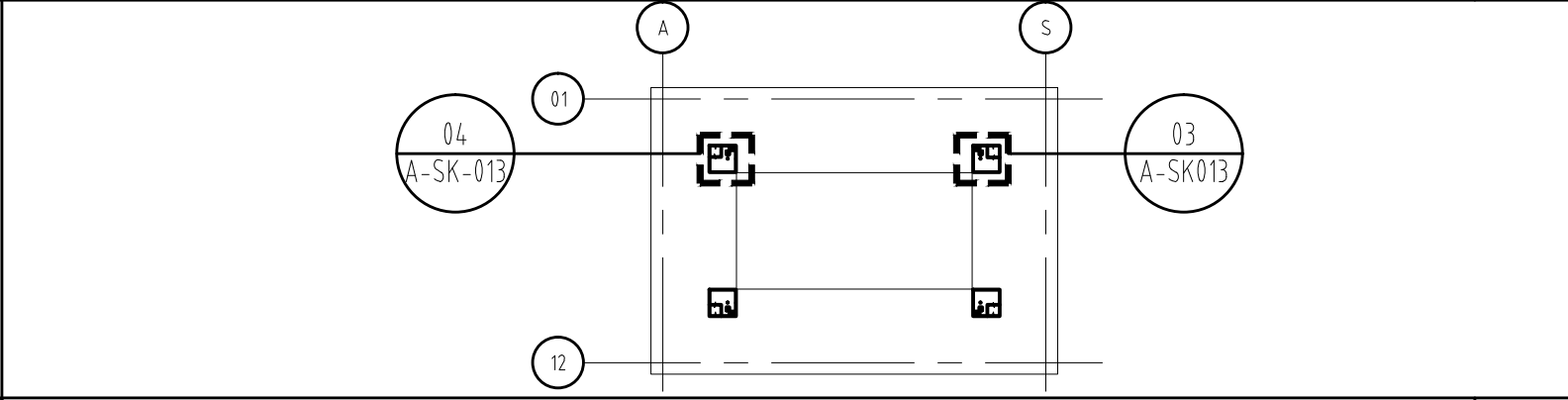
SLAB EDGE PLAN - CORE 4
SCALE : 1/8" = 1'-0"

- 04
- 1) COORDINATE FLOOR OPENINGS WITH STRUCTURAL DRAWINGS
 - 2) COORDINATE FLOOR OPENINGS WITH MECHANICAL DRAWINGS - WORK TO BE DONE IN BID PACKAGE 3
 - 3) COORDINATE DRAIN SIZE WITH PLUMBING DRAWINGS - WORK TO BE DONE IN BID PACKAGE 3
 - 4) ALL MECHANICAL OPENING RELATED DIMENSIONS ARE SUBJECT TO FINAL COORDINATION WITH BID PACKAGE 3
 - 5) ROOF DRAIN SLEEVE TO BE 0'-6" UNLESS OTHERWISE NOTED

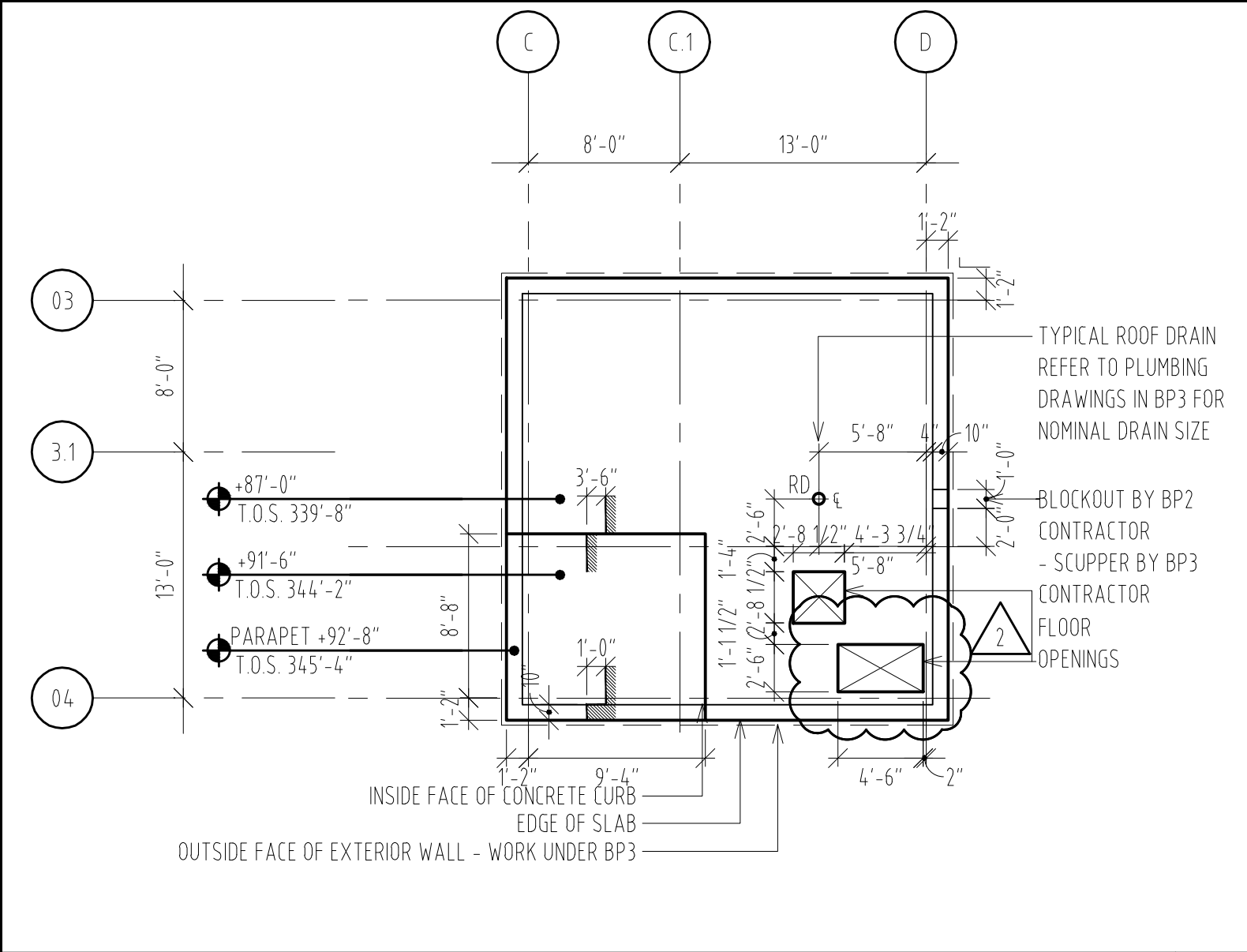
NOTES
SCALE : N.T.S.



SLAB EDGE PLAN - CORE 1
SCALE : 1/8" = 1'-0"



LEVEL 6 KEY PLAN
SCALE : 1" = 2000"



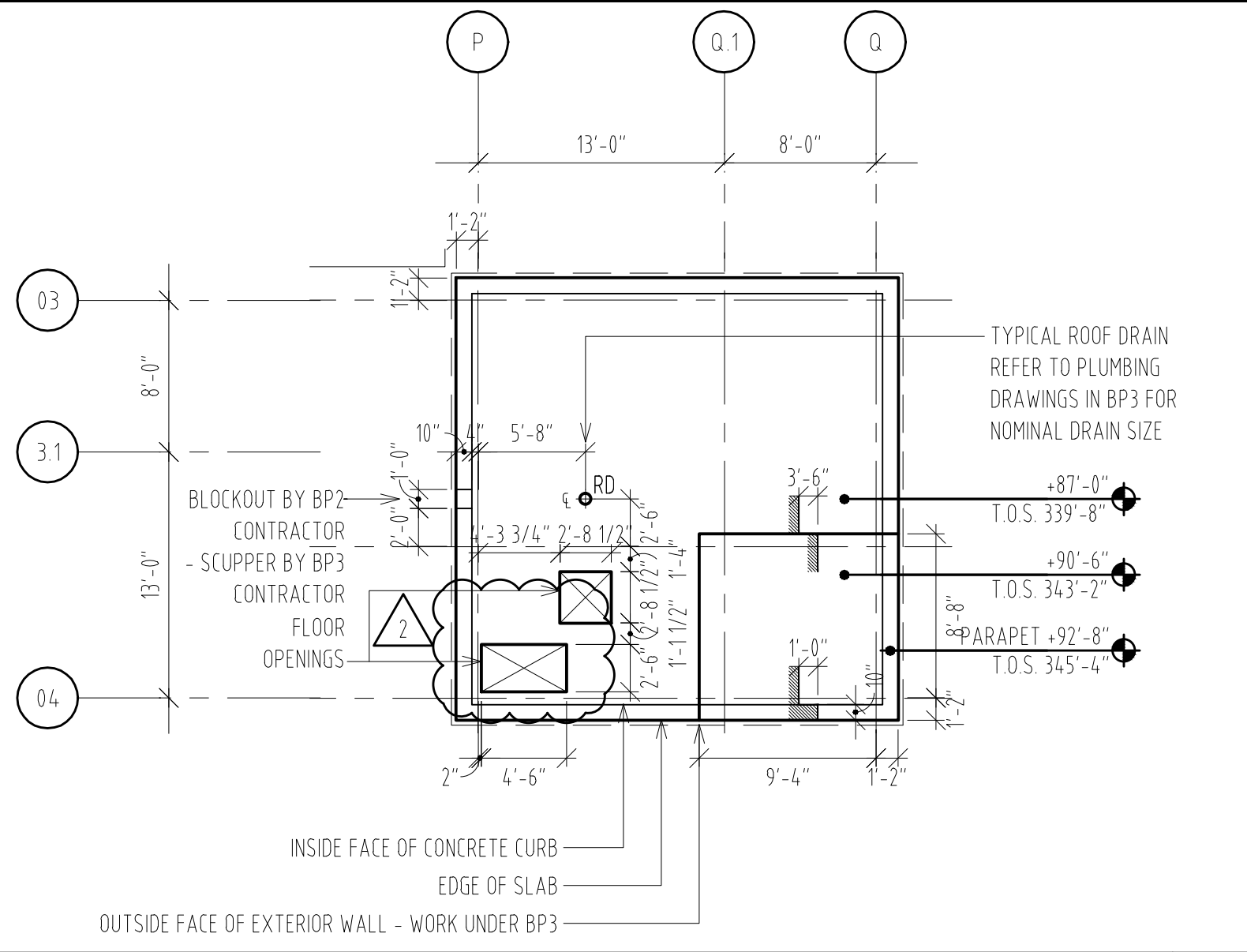
ENLARGED PLAN - CORE 3
SCALE : 1/8" = 1'-0"

04

- 1) COORDINATE FLOOR OPENINGS WITH STRUCTURAL DRAWINGS
- 2) COORDINATE FLOOR OPENINGS WITH MECHANICAL DRAWINGS - WORK TO BE DONE IN BID PACKAGE 3
- 3) COORDINATE DRAIN SIZE WITH PLUMBING DRAWINGS - WORK TO BE DONE IN BID PACKAGE 3
- 4) ALL MECHANICAL OPENING RELATED DIMENSIONS ARE SUBJECT TO FINAL COORDINATION WITH BID PACKAGE 3
- 5) ROOF DRAIN SLEEVE TO BE 0'-6" UNLESS OTHERWISE NOTED

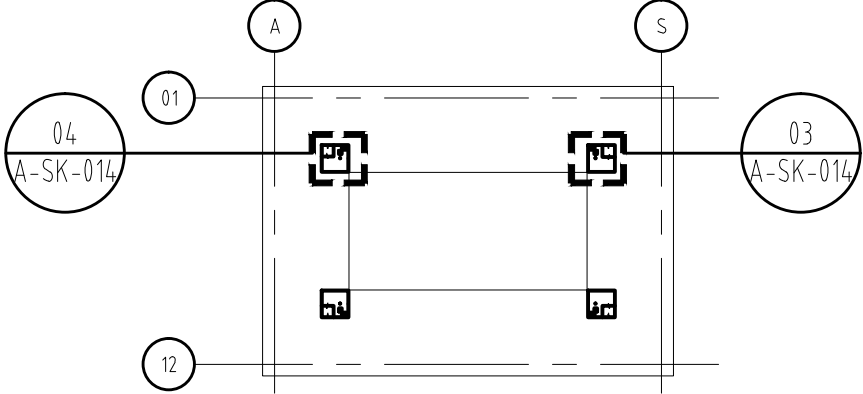
NOTES
SCALE : N.T.S.

02



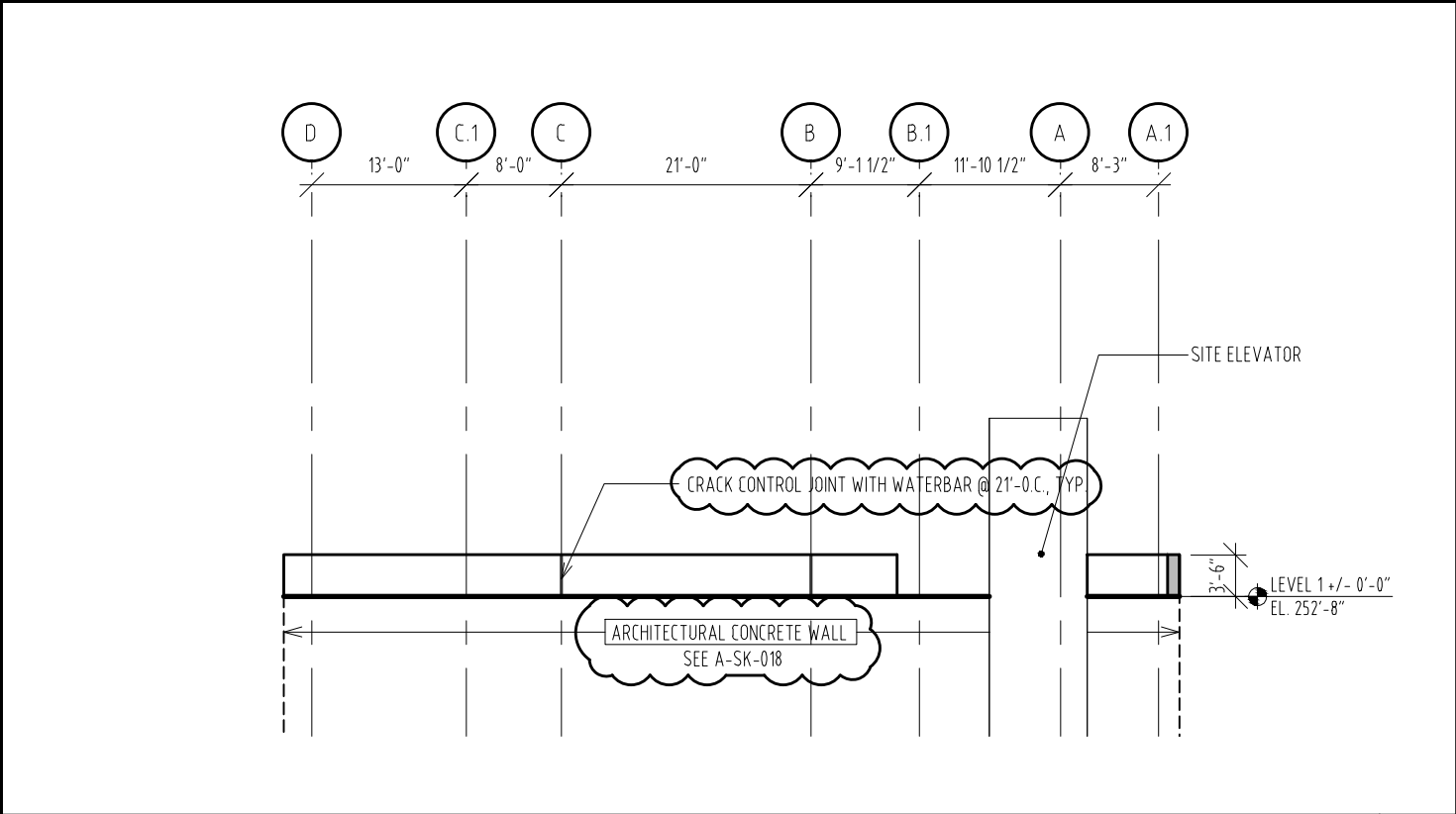
ENLARGED PLAN - CORE 2
SCALE : 1/8" = 1'-0"

03



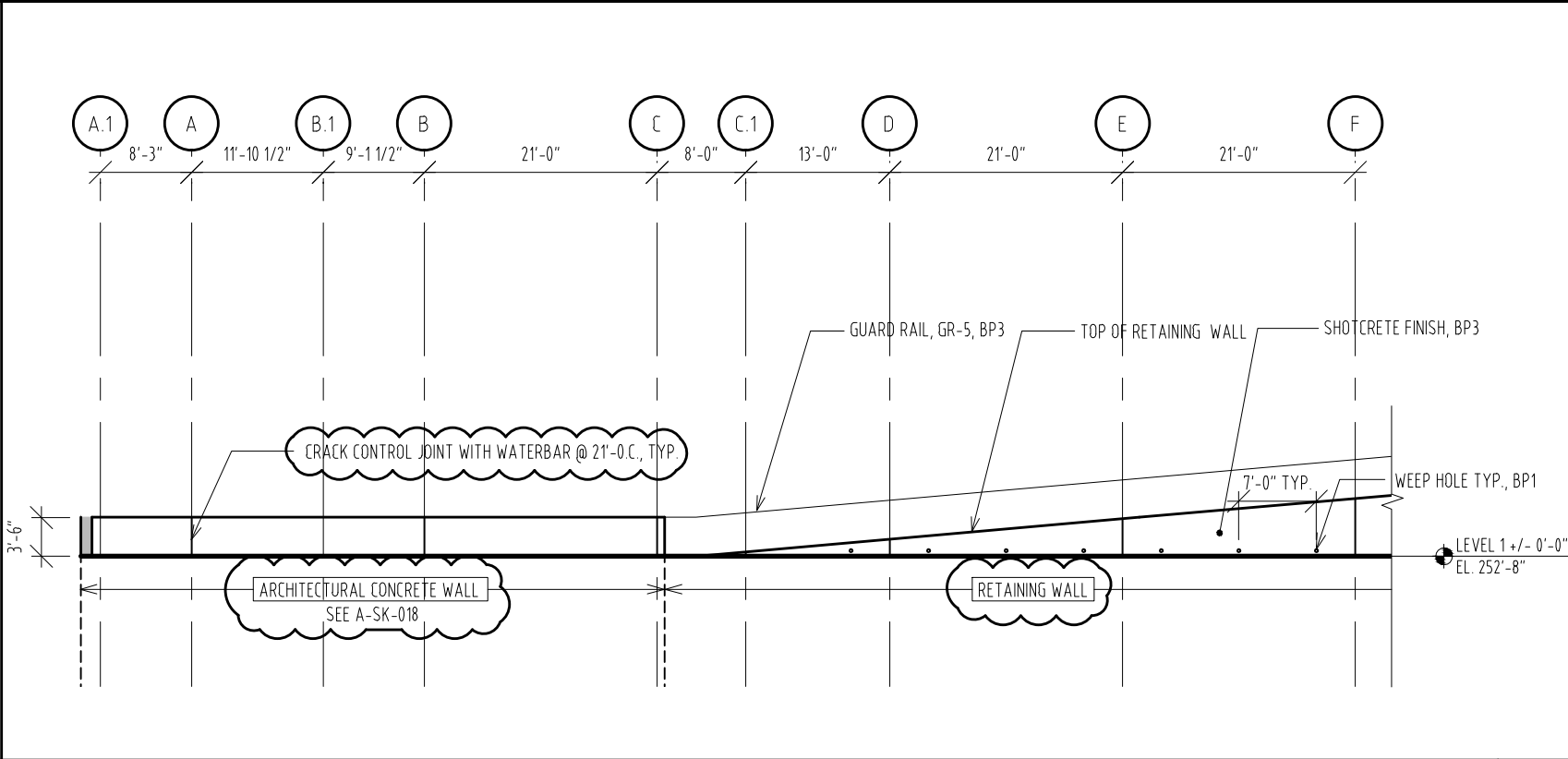
LEVEL 6 KEY PLAN
SCALE : 1" = 2000"

01



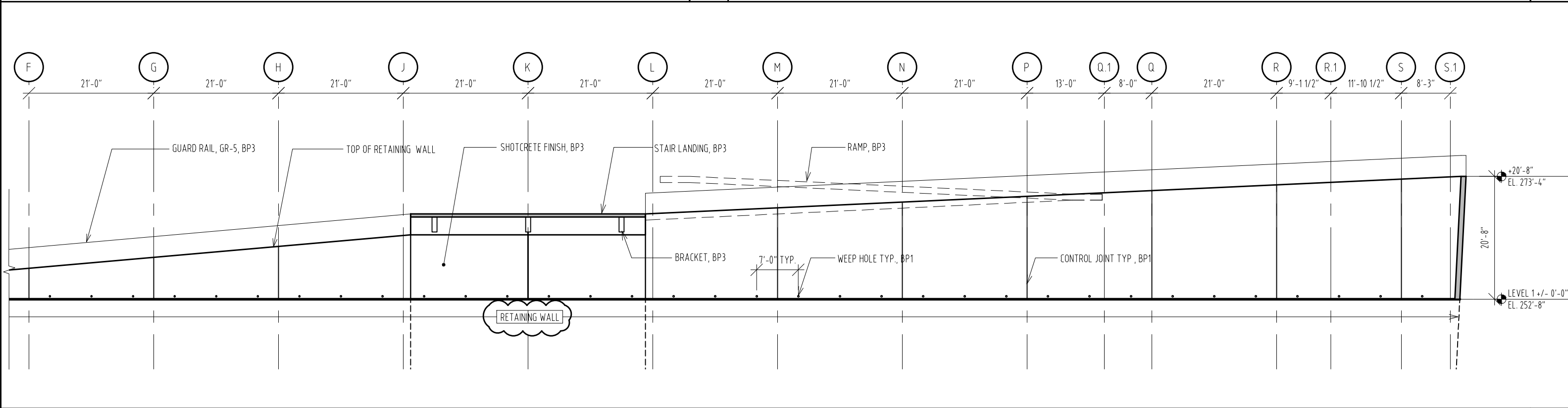
GUARDRAIL WALL AT CAROLINA COLISEUM
SCALE 1/16" = 1'-0"

03



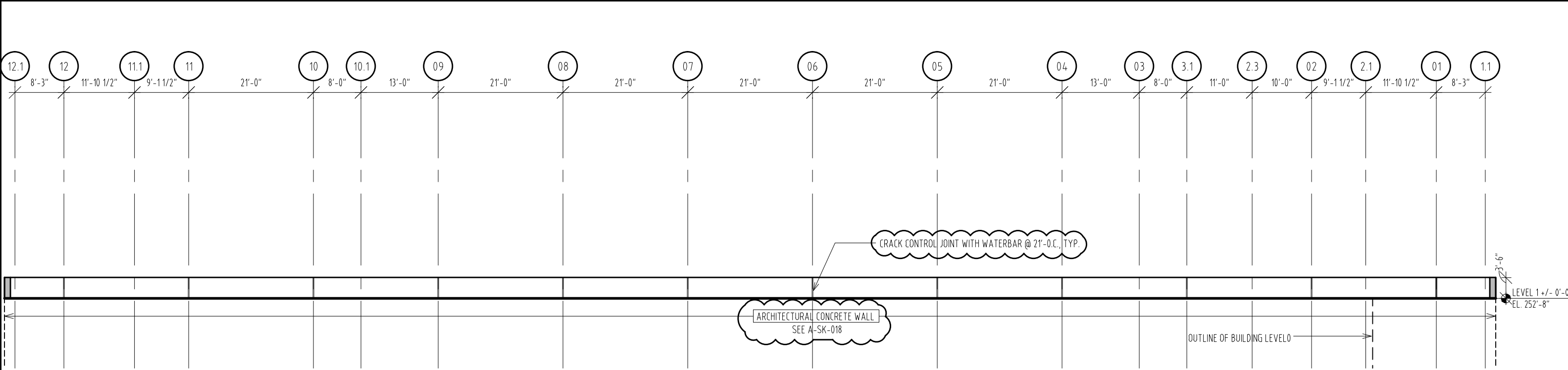
RETAINING WALL AT GREENE STREET
SCALE 1/16" = 1'-0"

02

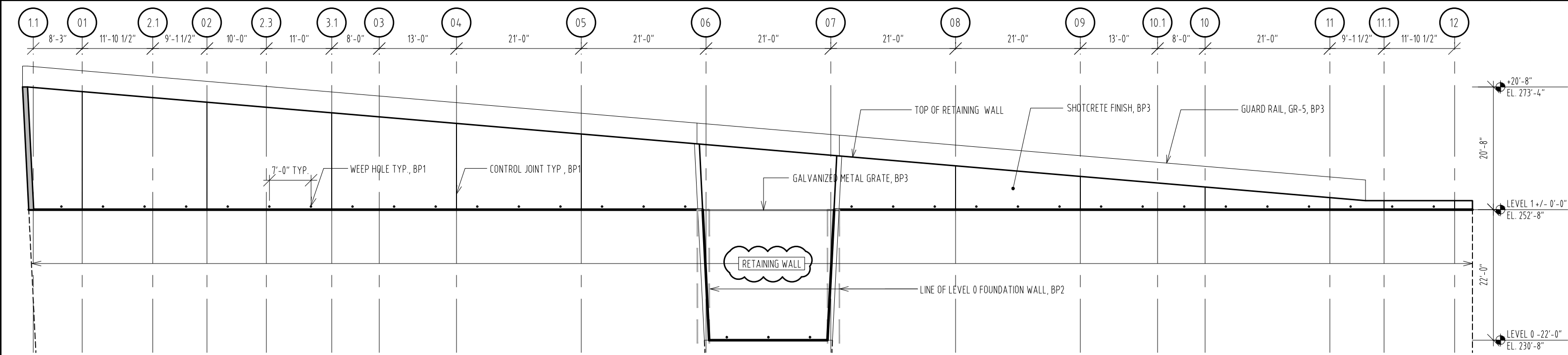


RETAINING WALL AT GREENE STREET
SCALE 1/16" = 1'-0"

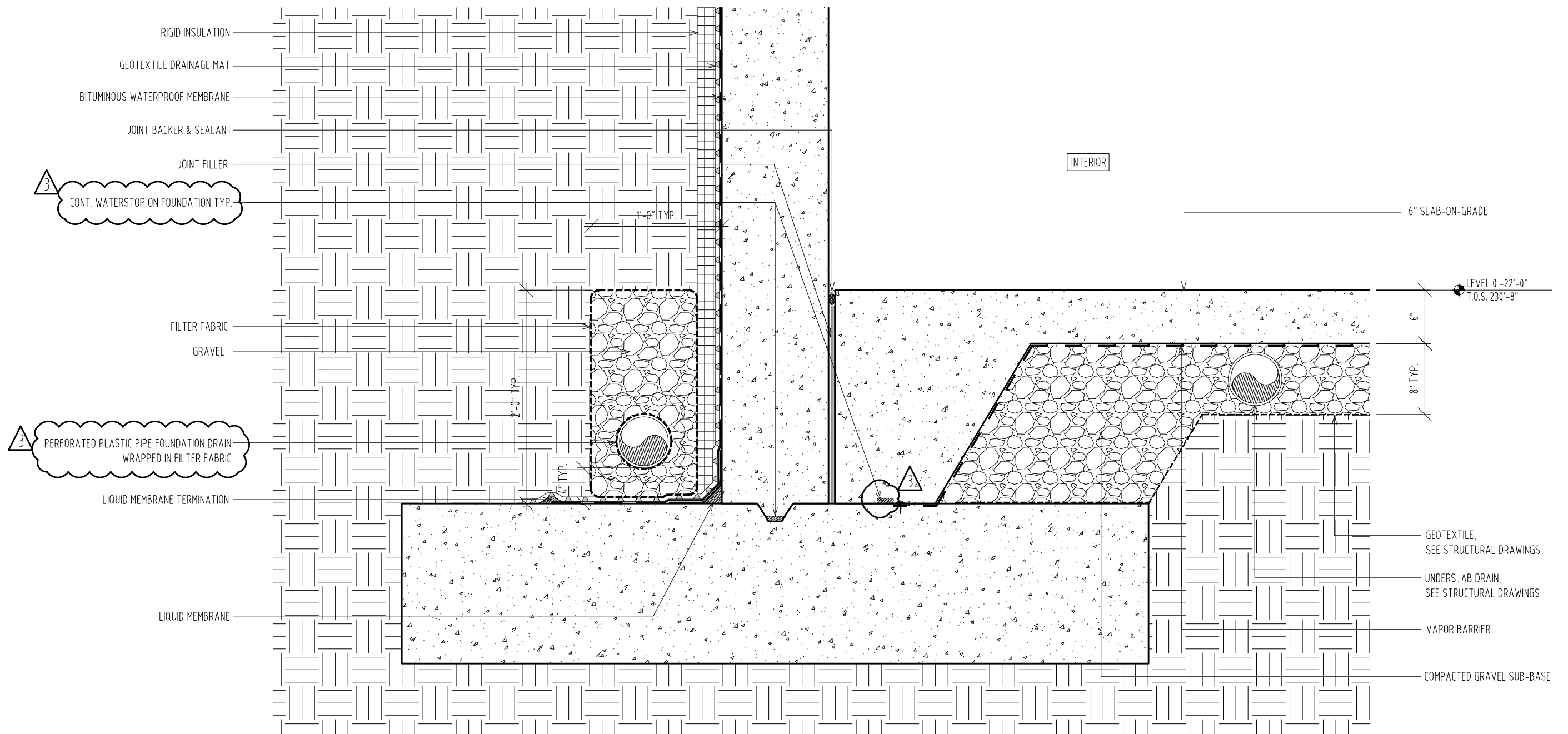
01



GUARD RAIL WALL AT PARK STREET
SCALE 1/16" = 1'-0" 02



RETAINING WALL AT ASSEMBLY STREET
SCALE 1/16" = 1'-0" 01



TYPICAL FOUNDATION DRAIN DETAIL

SCALE 1" = 1'-0"

01

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PROJECT NO. 655.000

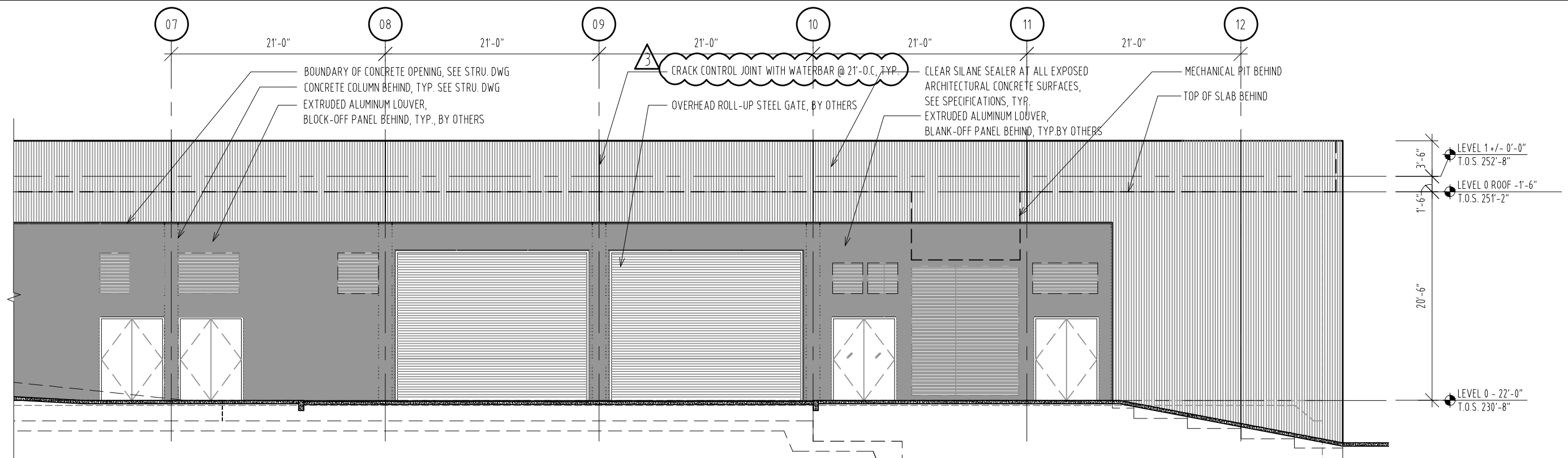
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^
2012.01.11
RAFAEL VINOLY ARCHITECTS PC

TYPICAL FOUNDATION DRAIN DETAIL
REF. DWG # 01/A4191

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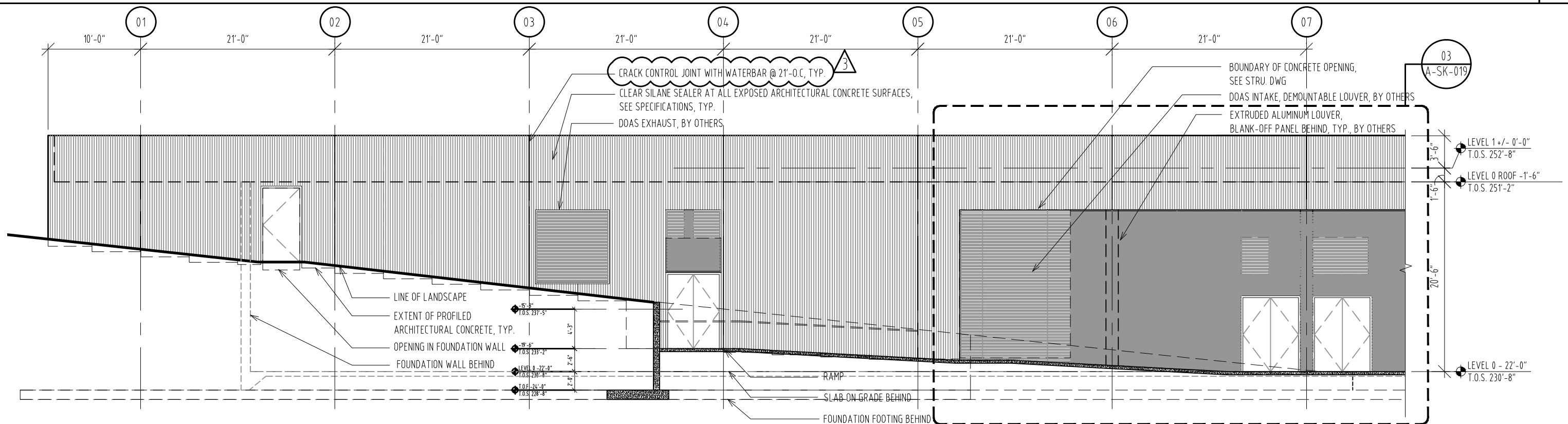
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A-SK-017



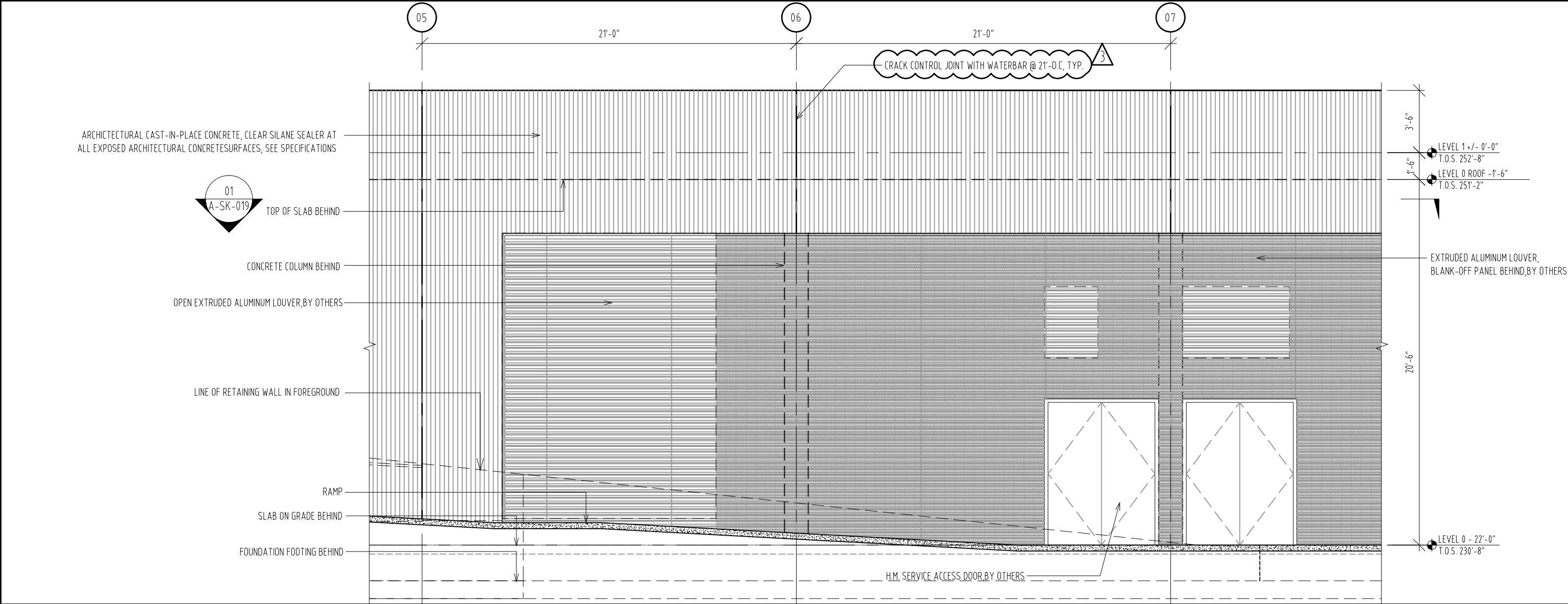
EWS-0.1: ENLARGED ELEVATION
SCALE 3/32" = 1'-0"

02

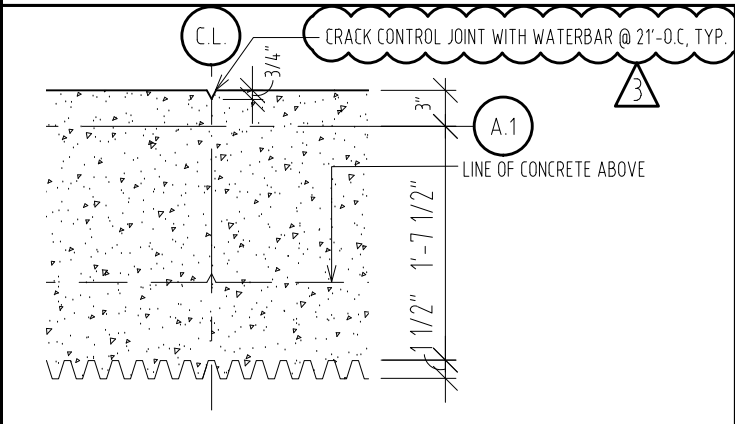


EWS-0.1: ENLARGED ELEVATION
SCALE 3/32" = 1'-0"

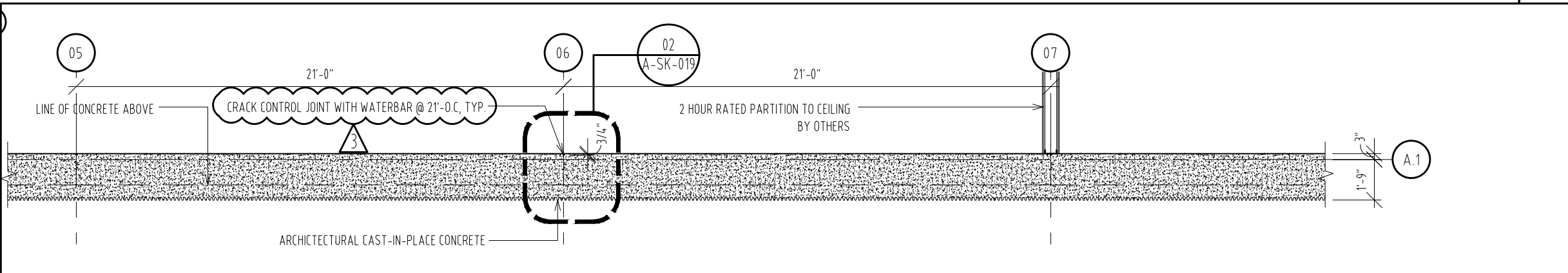
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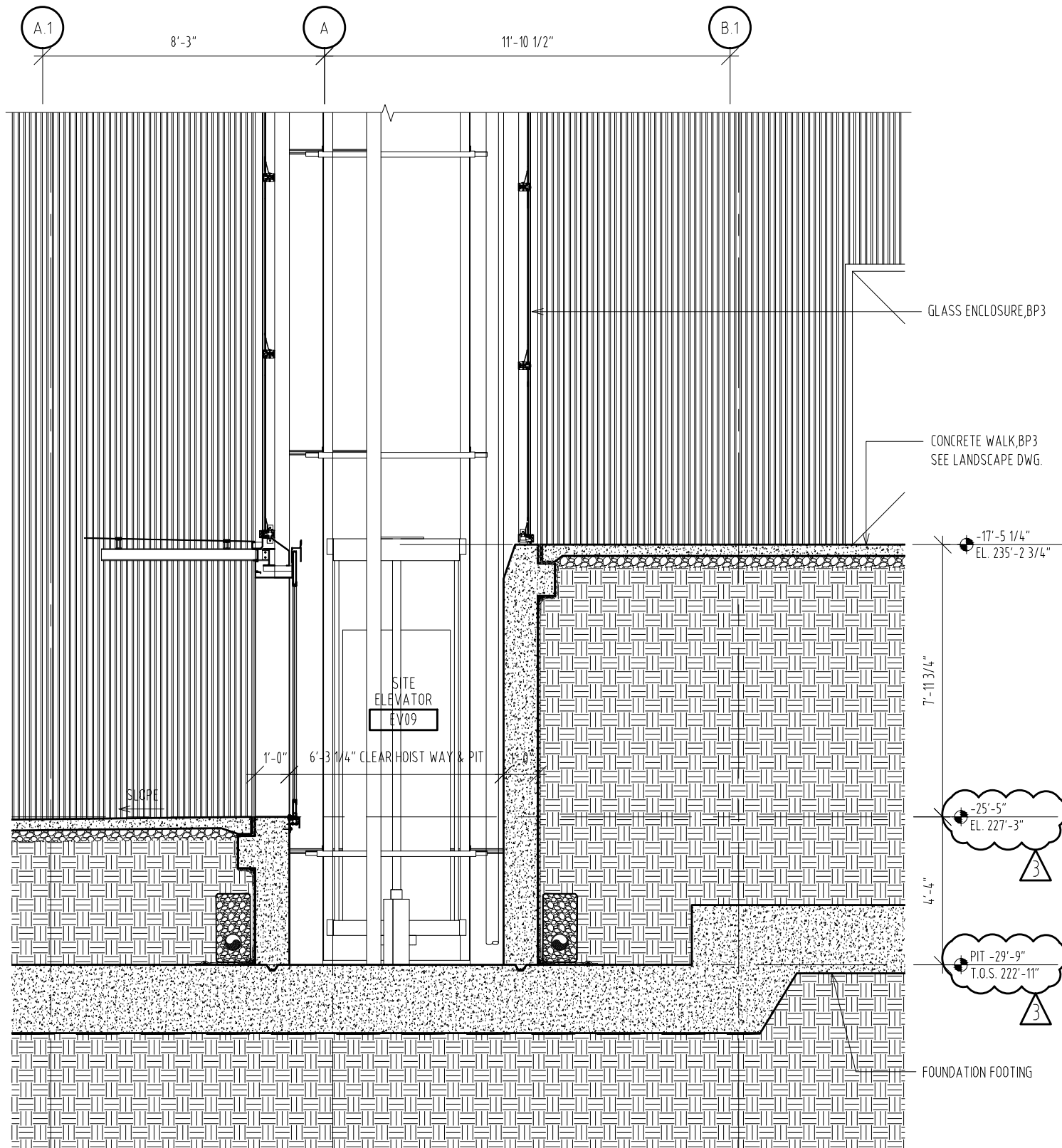
EWS-0.1: ENLARGED ELEVATION
SCALE 3/16" = 1'-0" 03



EWS-0.1: ENLARGED PLAN
SCALE 3/4" = 1'-0" 02

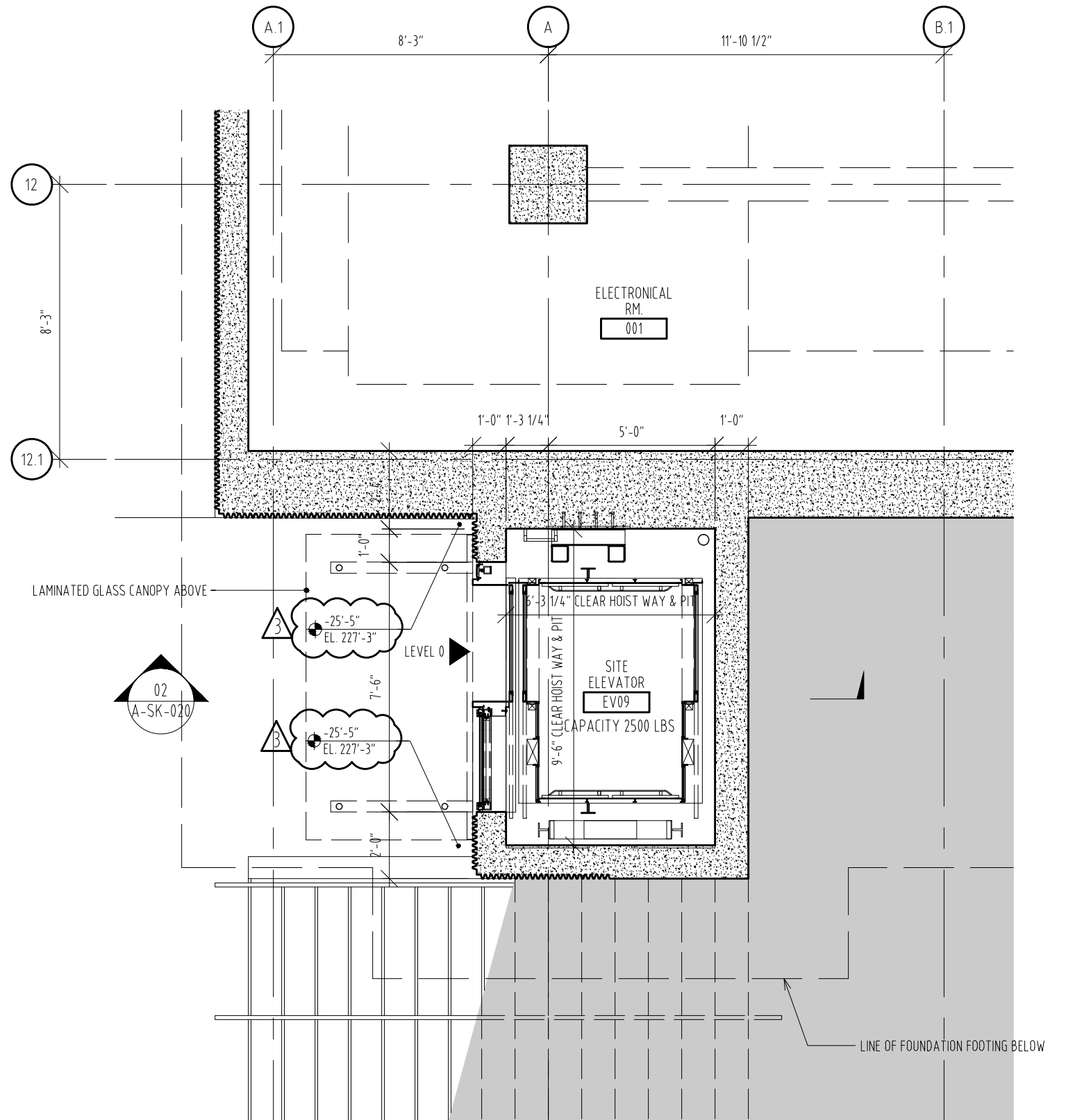


EWS-0.1: ENLARGED PLAN
SCALE 3/16" = 1'-0" 01



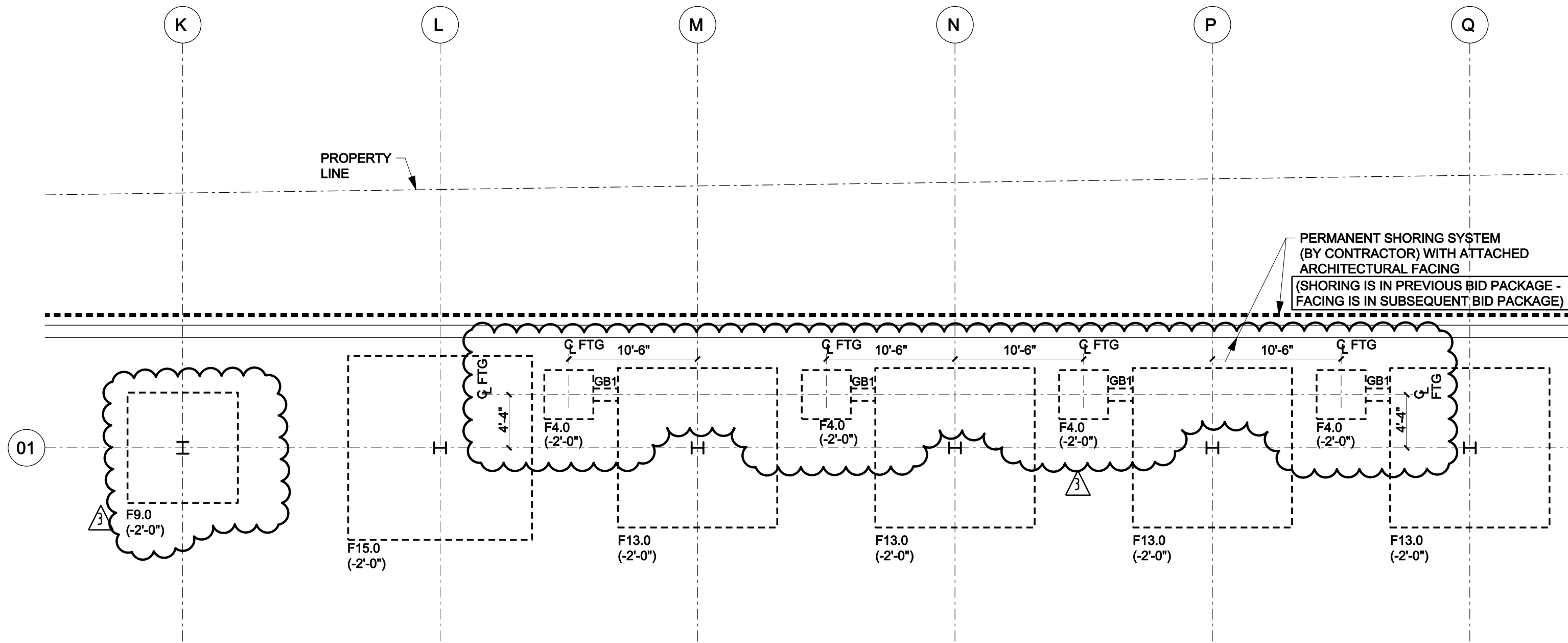
SITE ELEVATOR- SECTION
SCALE 1/4" = 1'-0"

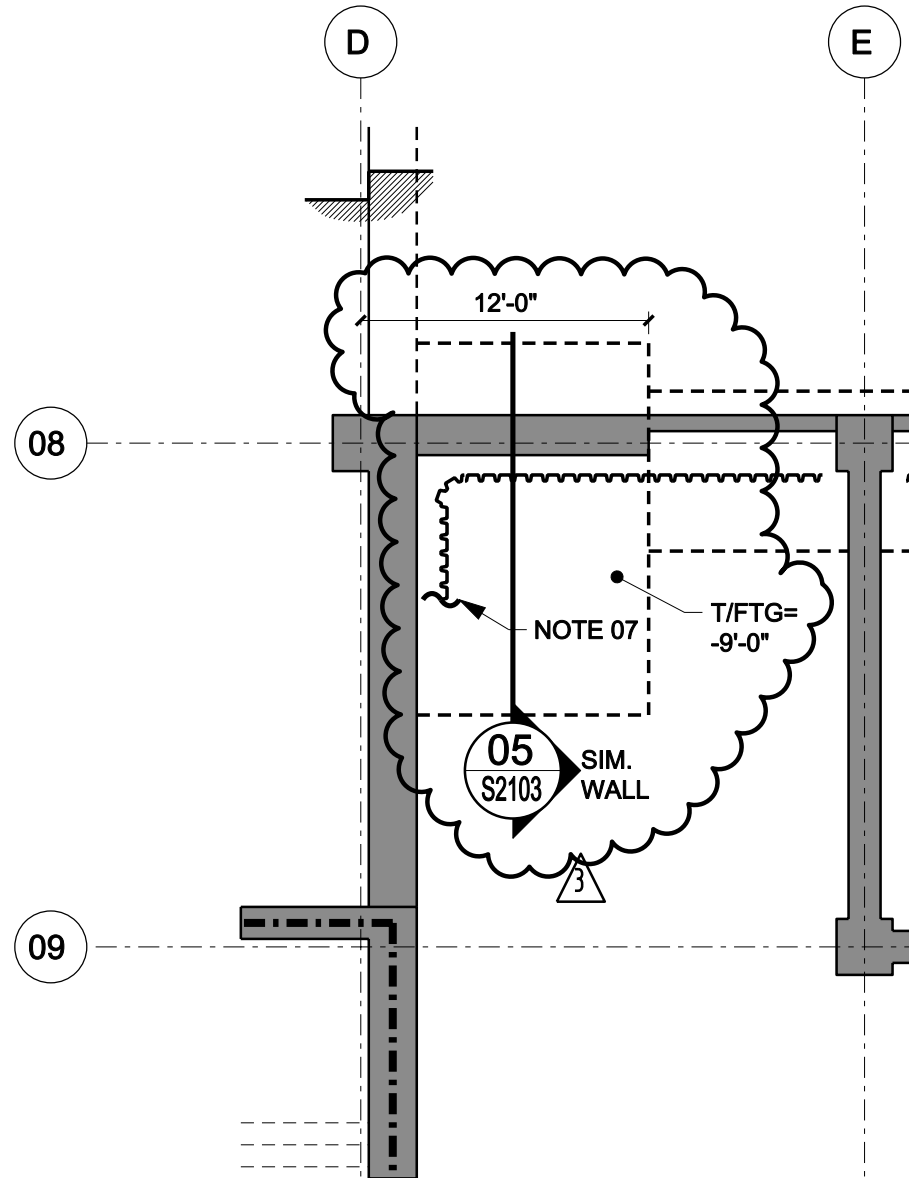
02



SITE ELEVATOR- PLAN- LEVEL 0
SCALE 1/4" = 1'-0"

01

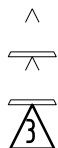




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2012.01.11

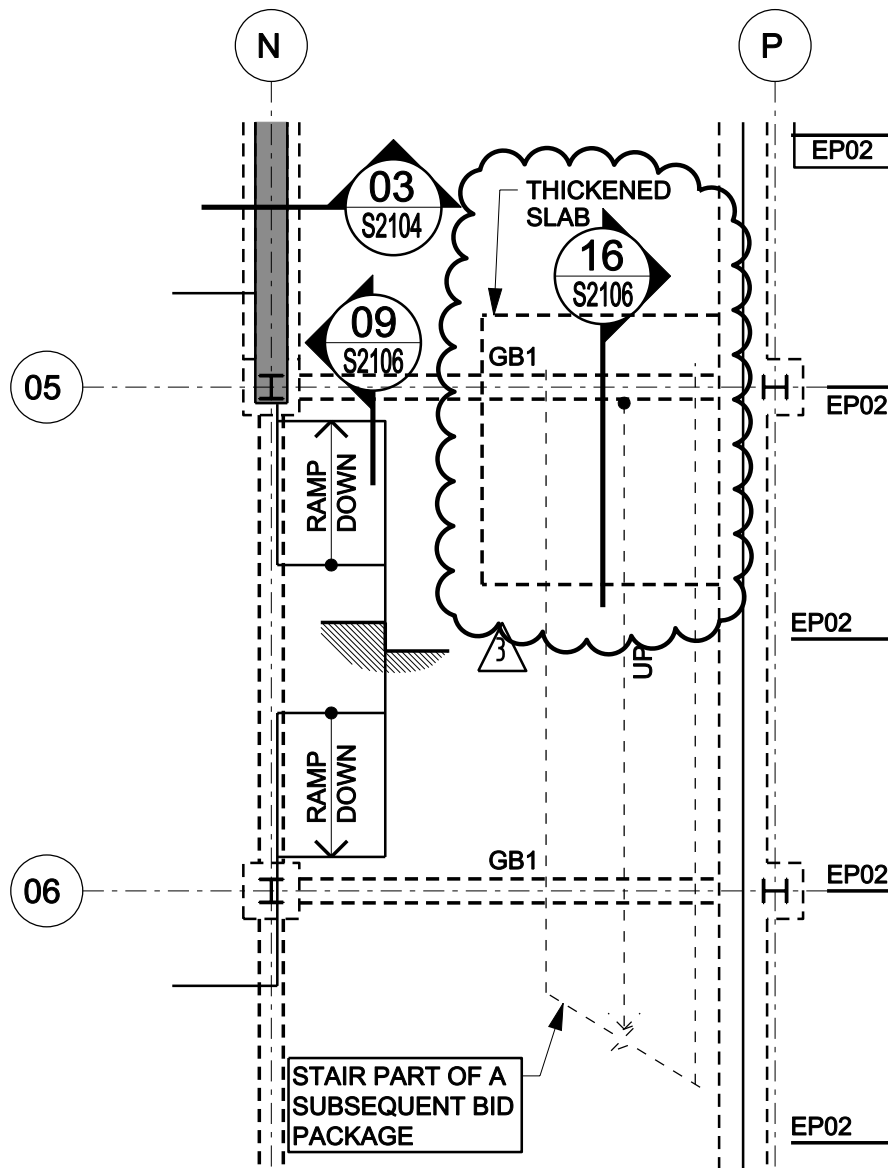
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FOUNDATION PLAN - LEVEL 0.5 TUNNEL AND AUDITORIUM
REF. DRAWING NO.: S1100.1A

SHEET TITLE :

SCALE :
N.T.S.

SHEET NUMBER :
S-SK-002



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PROJECT NO. 655.000



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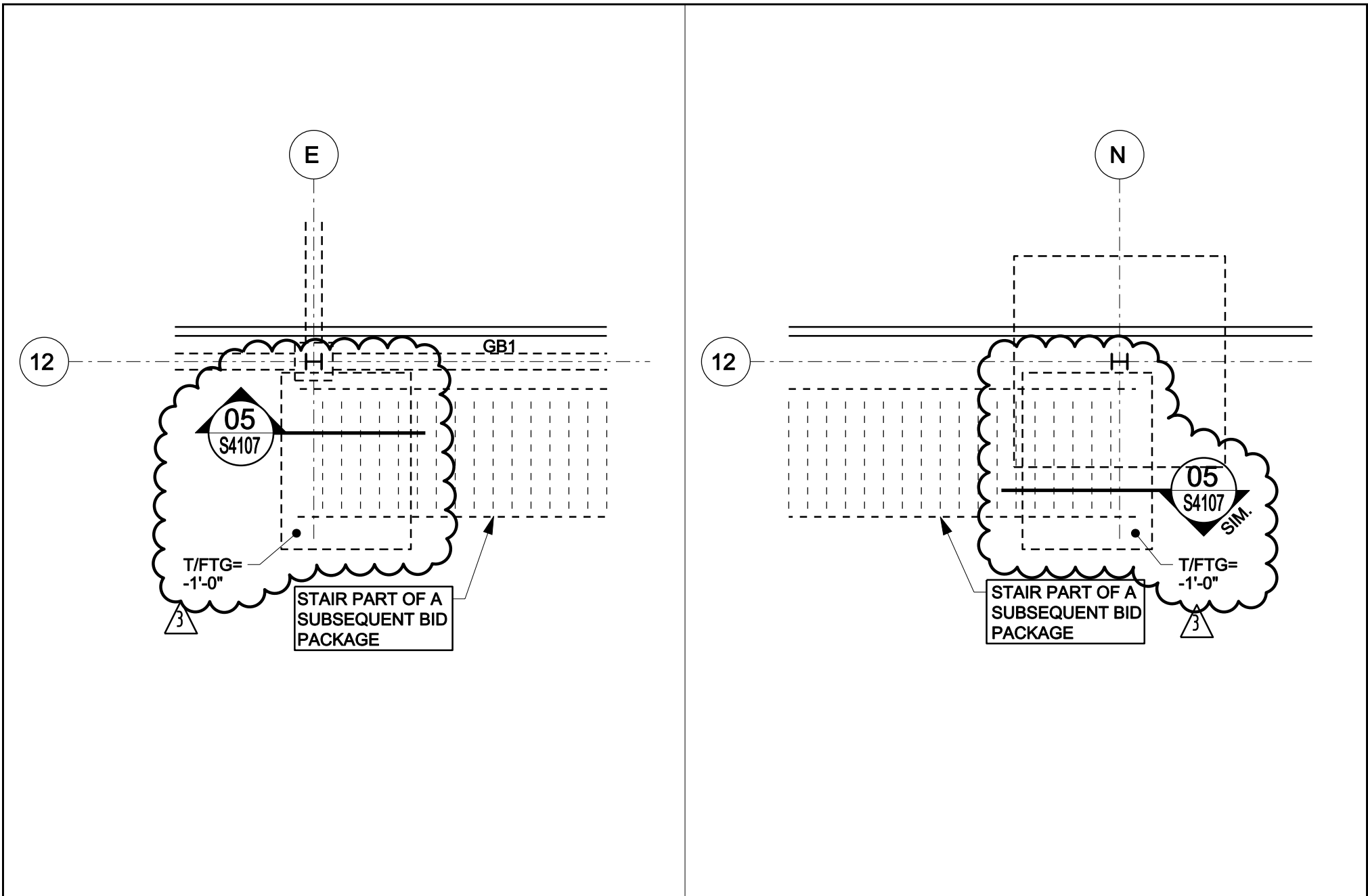
© RAFAEL VIÑOLY ARCHITECTS PC

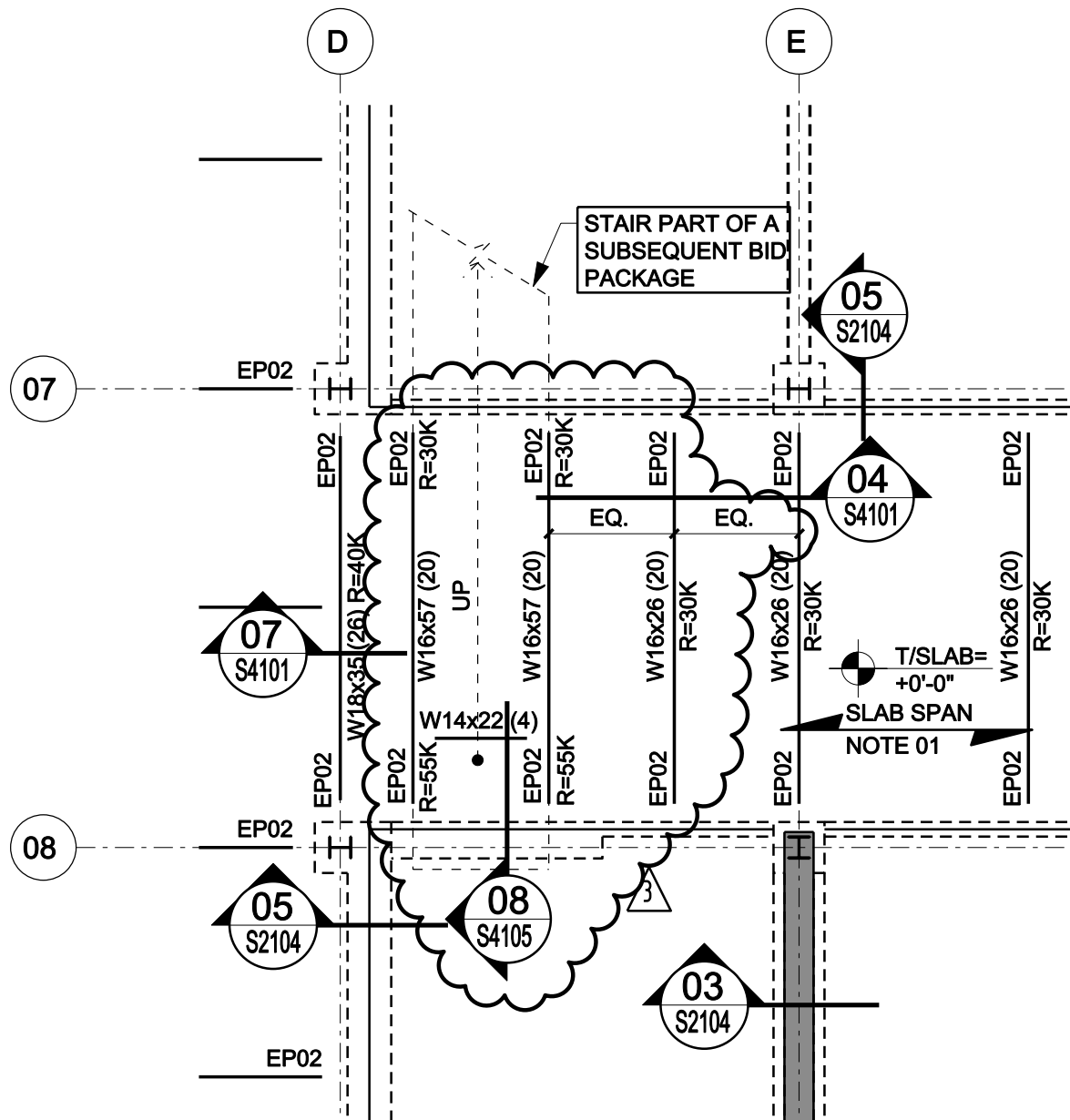
FRAMING PLAN - LEVEL 1 - ZONE A
REF. DRAWING NO.: S1110A

SHEET TITLE :

SCALE :
N.T.S.

SHEET NUMBER :
S-SK-003

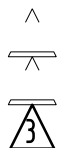




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BP2-STRUCTURE ADDENDUM #001

PROJECT NO. 655.000



2012.01.11

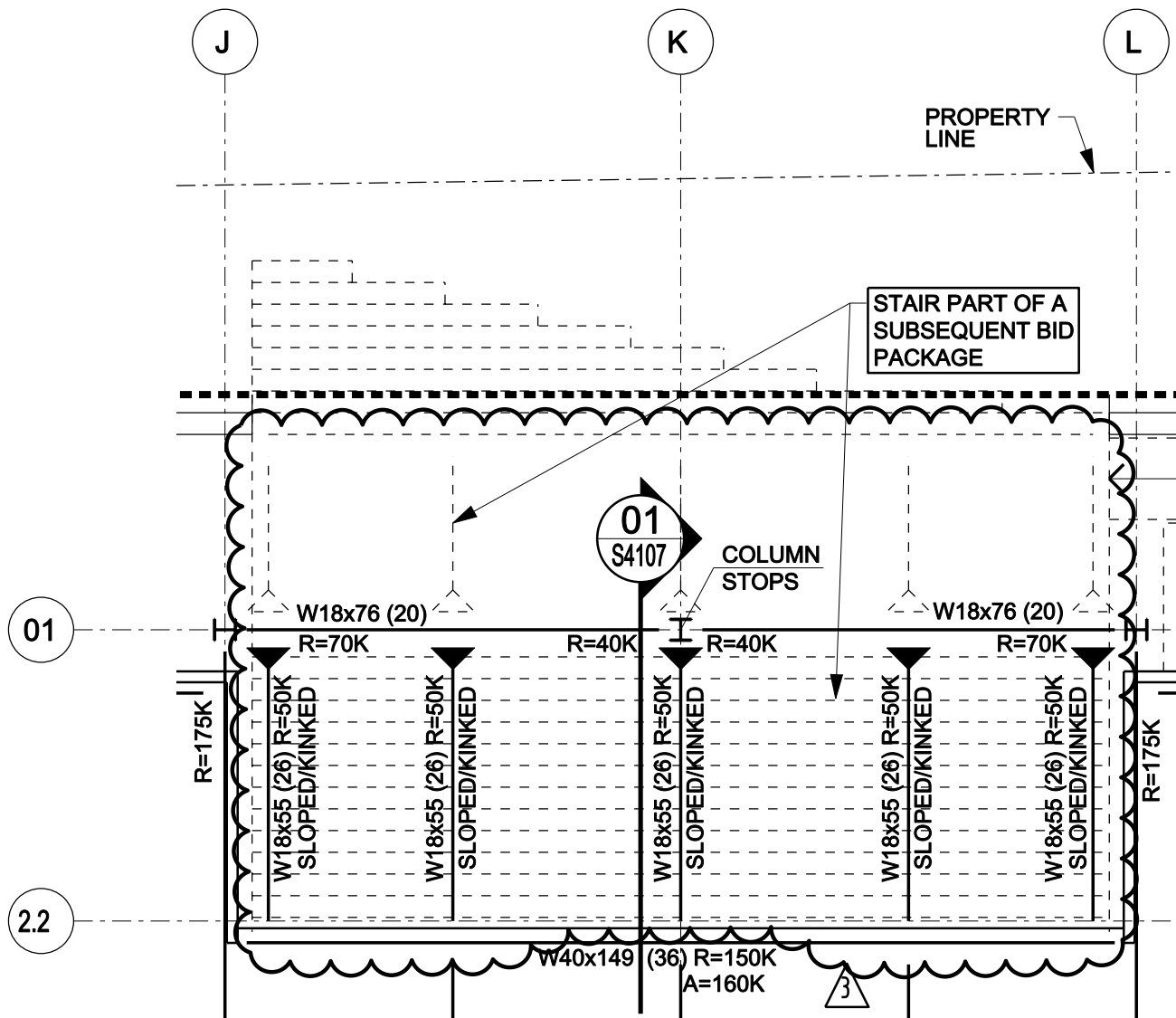
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FRAMING PLAN - LEVEL 1 - ZONE D
REF. DRAWING NO.: S1110D

SHEET TITLE :

SCALE :
N.T.S.

SHEET NUMBER :
S-SK-006



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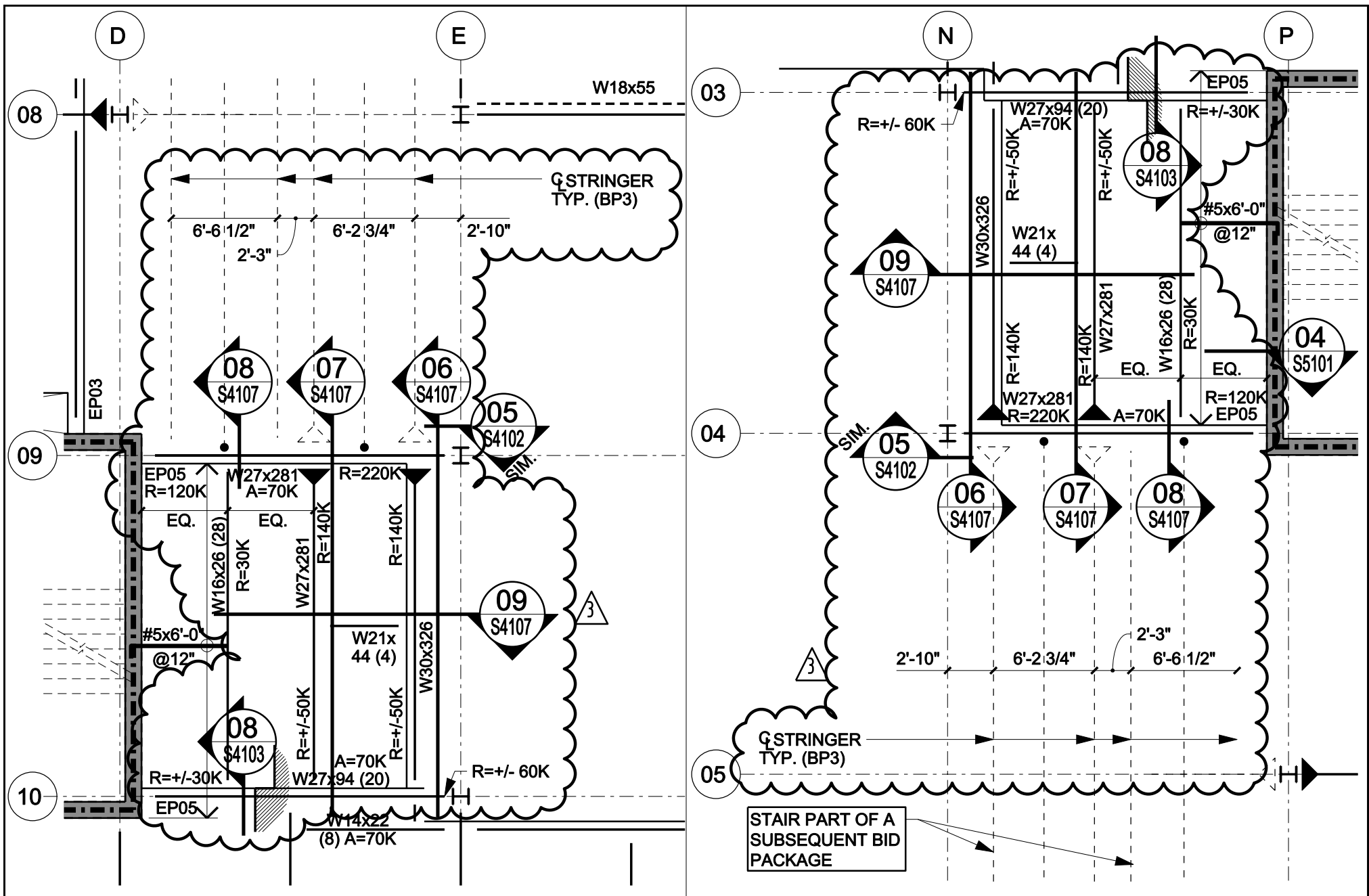
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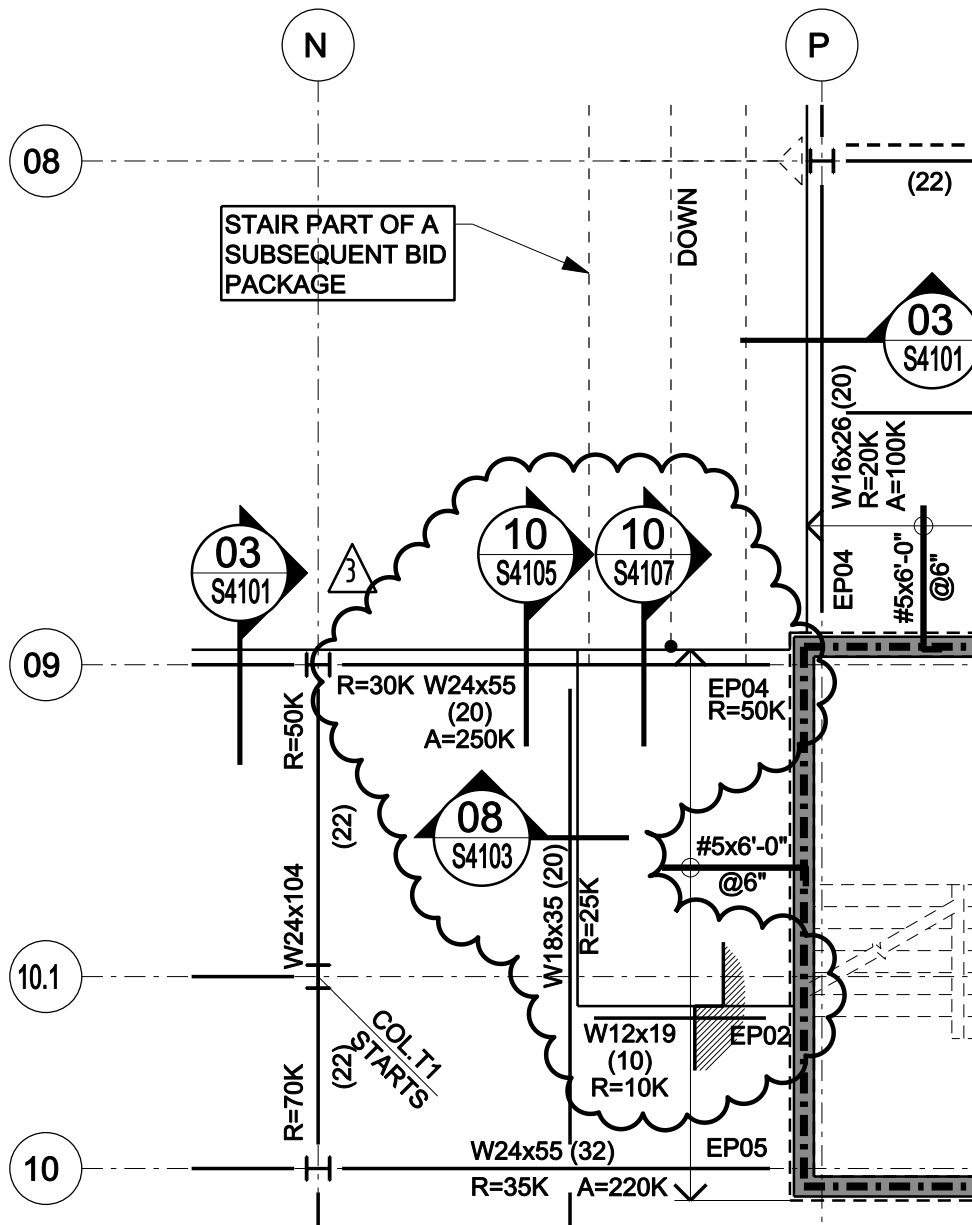
FRAMING PLAN - LEVEL 2 - ZONE A
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SCALE :
N.T.S.

SHEET NUMBER :
S-SK-007

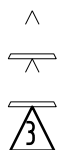




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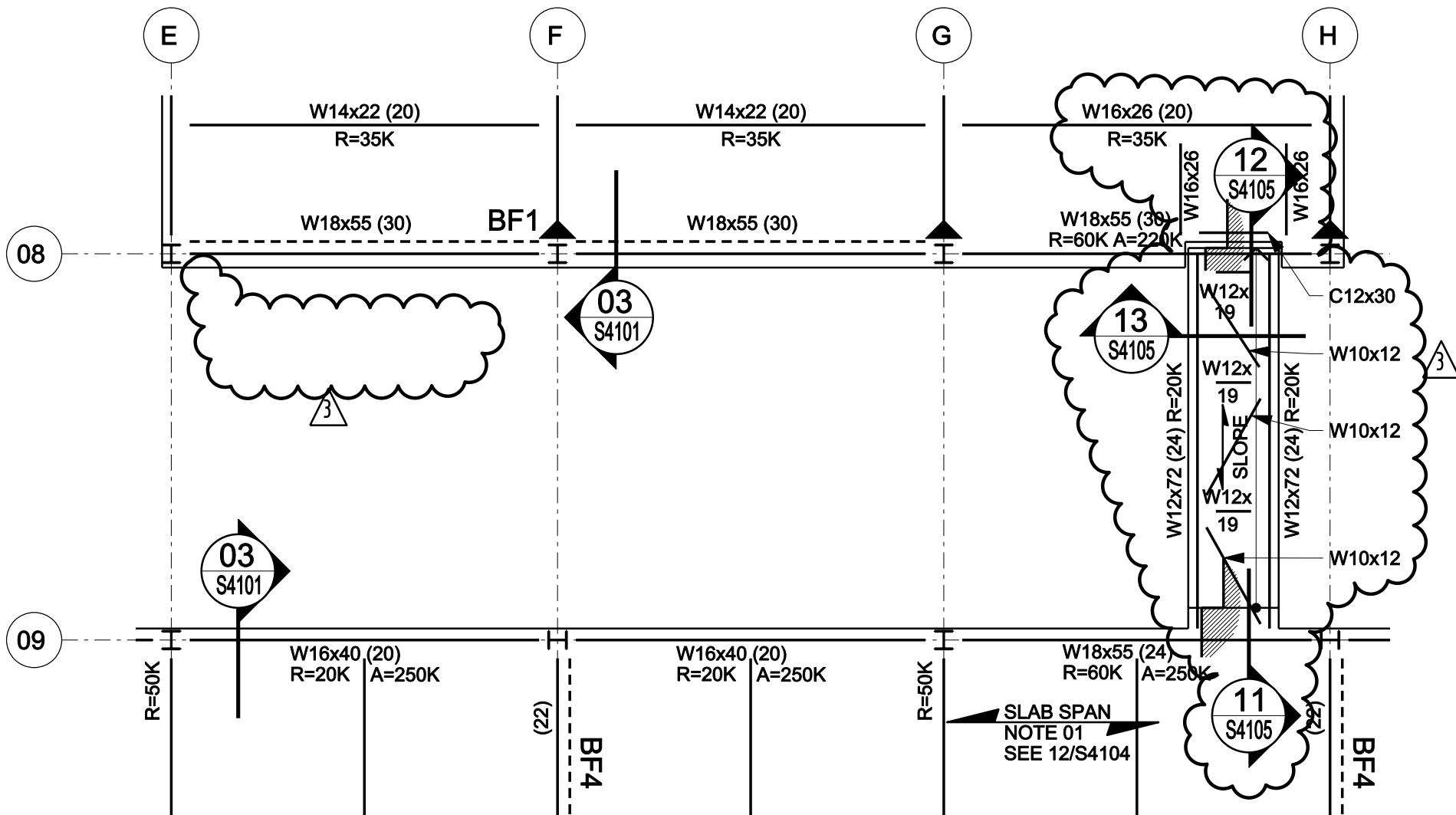
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FRAMING PLAN - LEVEL 4 - ZONE B
REF. DRAWING NO.: S1140B

SHEET TITLE :

SCALE :
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SHEET NUMBER :
S-SK-011



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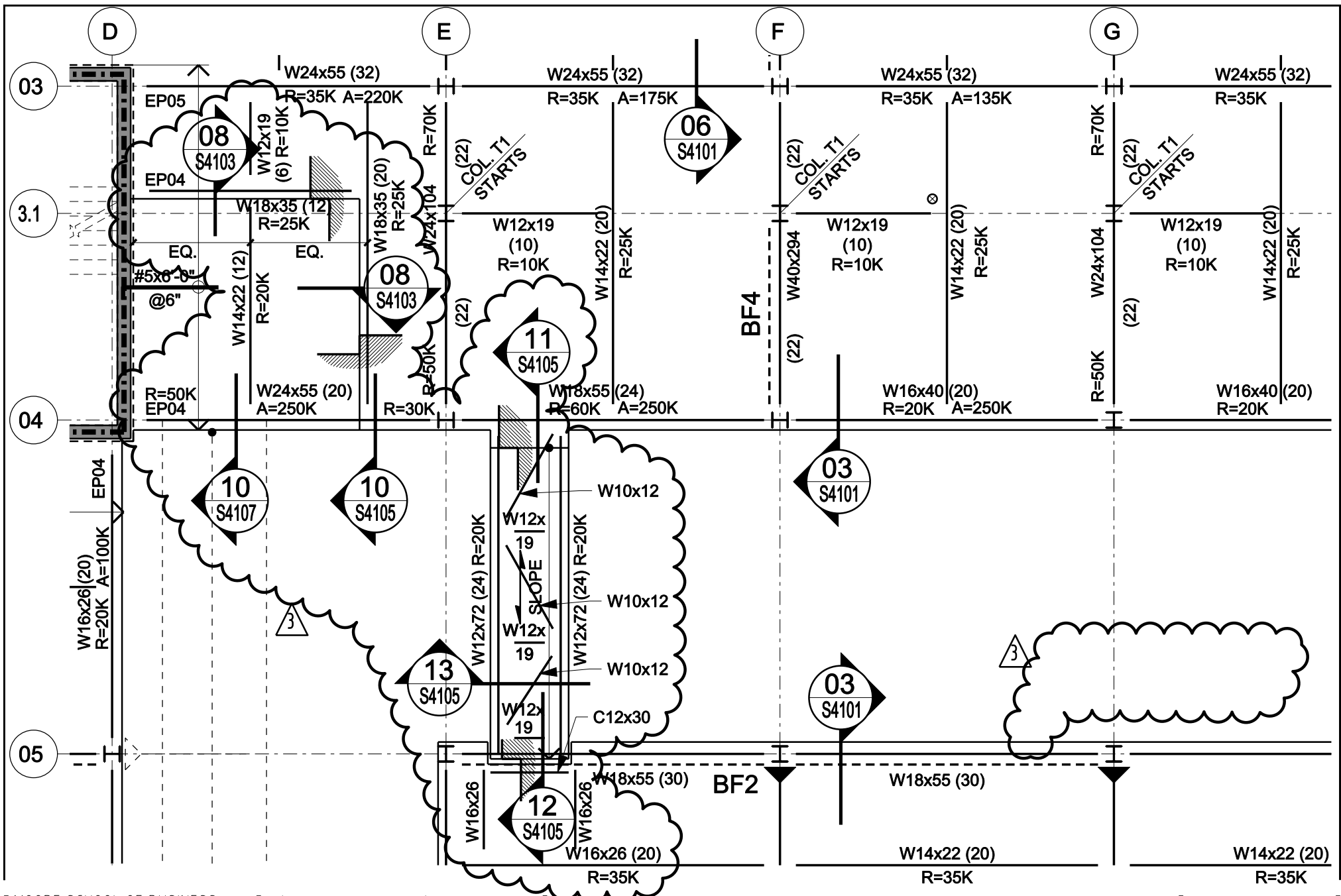
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FRAMING PLAN - LEVEL 4 - ZONE C
REF. DRAWING NO.: S1140C

SHEET TITLE :

SCALE :
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SHEET NUMBER :
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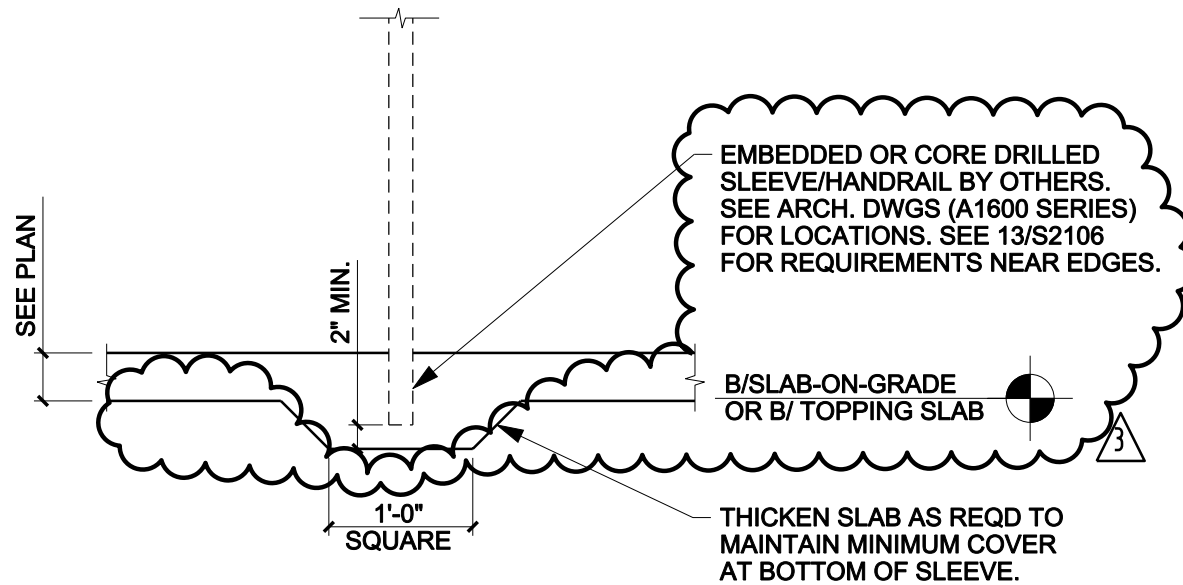
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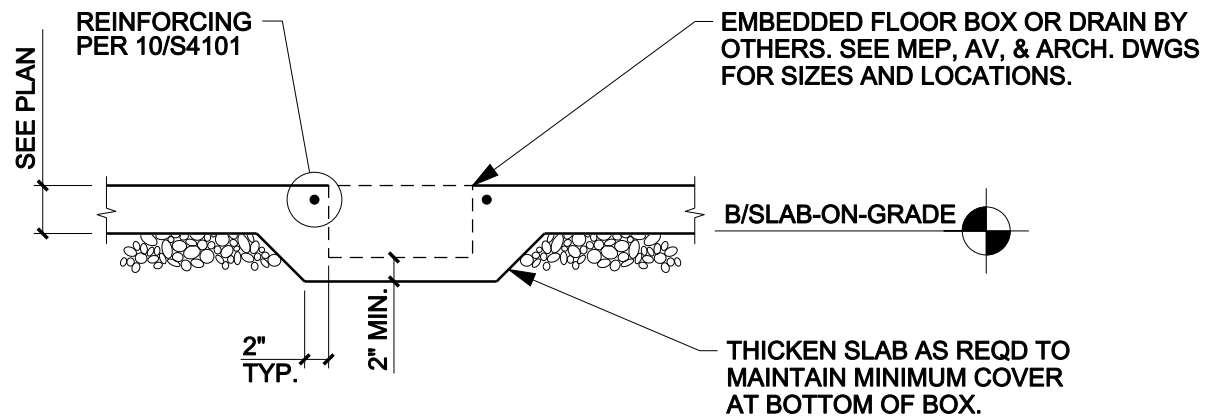
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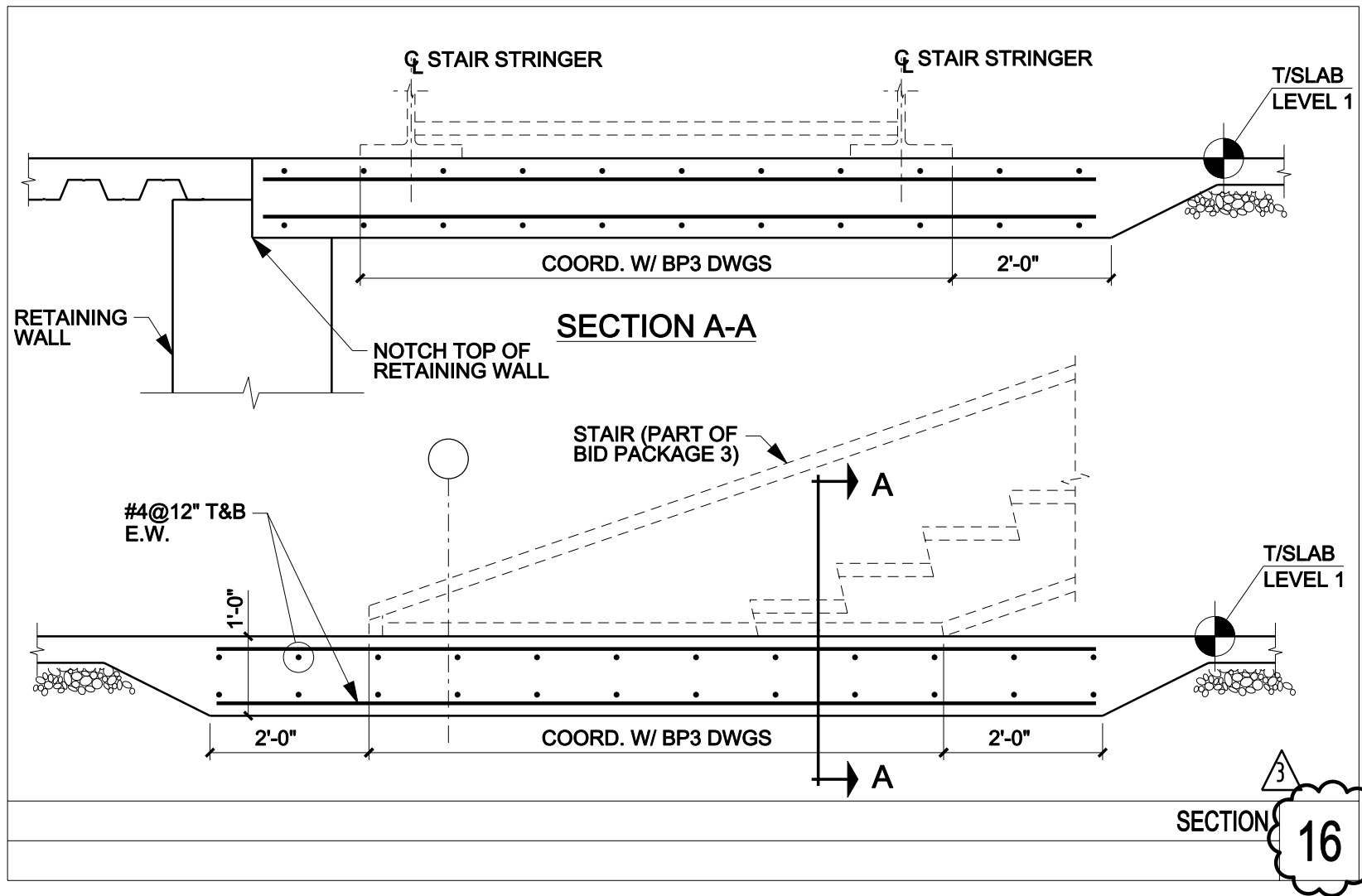
TYPICAL DETAIL AT SLEEVE AT SLAB-ON-GRADE OR AT TOPPING SLAB

14



TYPICAL DETAIL AT FLOOR BOX OR DRAIN AT SLAB-ON-GRADE

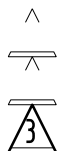
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15



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BP2-STRUCTURE ADDENDUM #001

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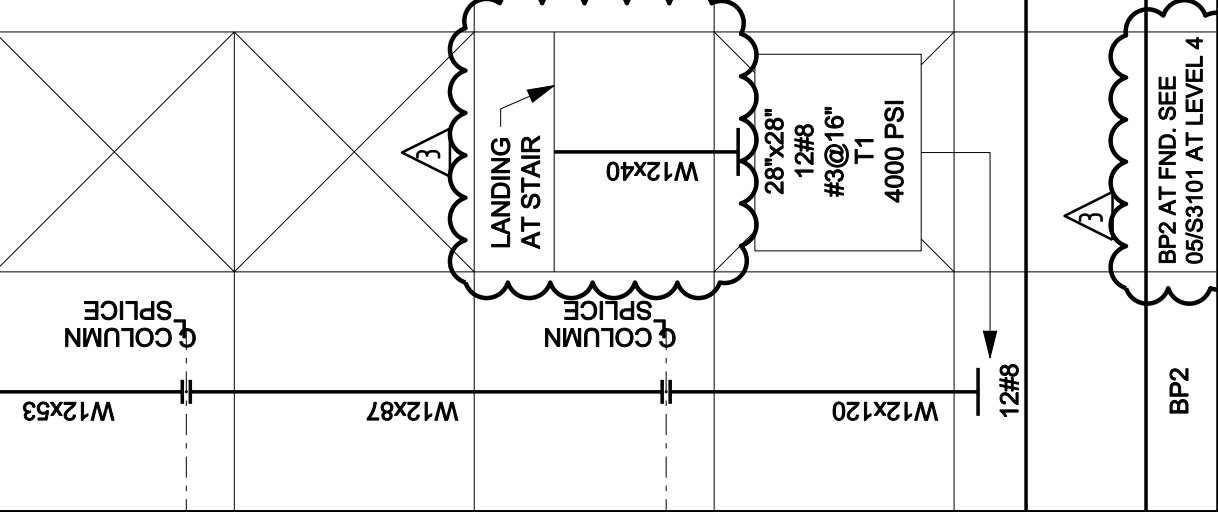
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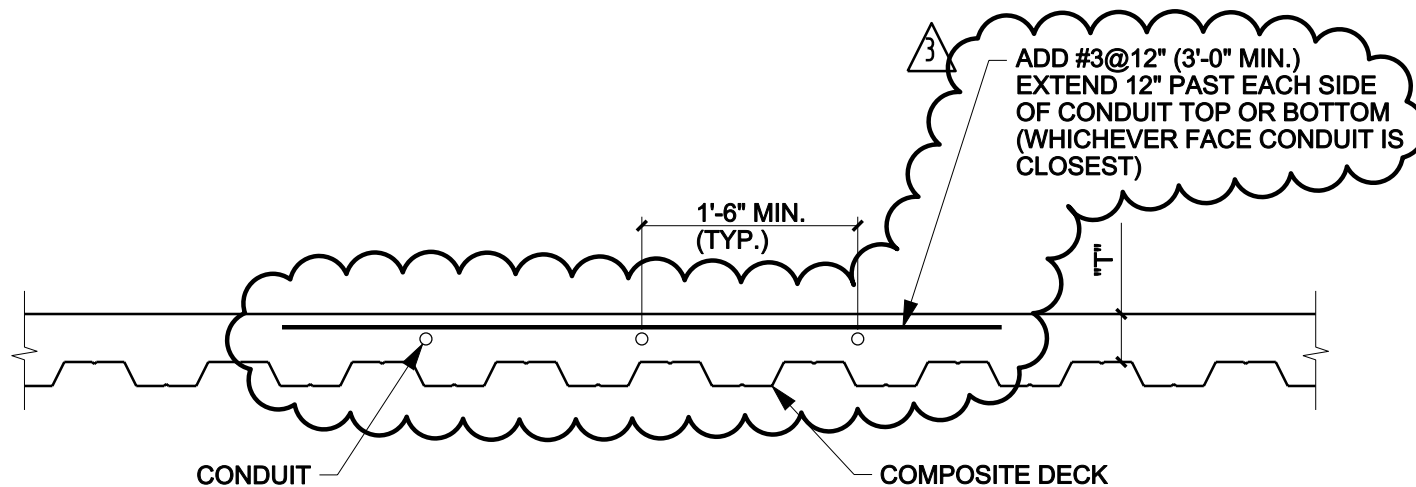
FOUNDATION SECTIONS AND DETAILS
REF. DRAWING NO.: S2106

SHEET TITLE :

SCALE :
N.T.S.

SHEET NUMBER :
S-SK-016

PARTIAL COLUMN SCHEDULE			COLUMN MARKS	LEVEL
A-12	K-01	G-04 G-09 L-04 L-09		LEVEL 5 MAIN ROOF
				LEVEL 4
				LEVEL 3
				LEVEL 2
				LEVEL 1
				PEDESTAL SIZE VERT. REINF. TIES TIE DETAIL CONC. STRENGTH LEVEL 0
				DOWELS
				REMARKS
BP2			BP2	BASE PLATE MARK



NOTES:

1. OUTSIDE DIA. OF CONDUIT SHALL NOT EXCEED 1" NOR 1/3 "T".
2. CROSSOVERS OF CONDUIT ARE NOT PERMITTED.
3. MAINTAIN A 3/4" MINIMUM CLEAR COVER.
4. CONDUITS GROUPED TOGETHER NEAR JUNCTION BOXES SHALL BE REINFORCED AS SLAB OPENINGS.

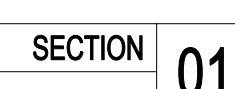
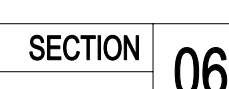
TYPICAL CONDUIT IN COMPOSITE SLAB DETAIL

10



S4105
SHEET NUMBER:

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